

Monday, 11 May 2026



Our Ref: A23.122-RPT-BMPC_Stage15B_0_FINAL

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Bushfire Management Plan Compliance Certification: Stage 15B Apsley Estate, Mandogalup

Document Purpose

Western Environmental Approvals Pty Ltd (WEPL) has prepared this Bushfire Management Plan (BMP) compliance report for Stage 15B of Apsley Estate, Mandogalup (the subject site; Figure 1). Lots within Stage 15B are subject to Western Australian Planning Commission (WAPC) subdivision approvals WAPC Ref. 164335 and WAPC Ref 201566.

This report provides a post-subdivisional works compliance assessment of bushfire management measures required to clear Condition 28 (WAPC Ref. 164335) and Condition 21 (WAPC Ref 201566) of subdivision approval as follows:

WAPC Ref. 164335

28. Information is to be provided to demonstrate that the developer responsibilities contained in section 2.4 Table 4 of the approved Bushfire Management Plan Addendum (8 November 2023) have been implemented during subdivisional works. This information should include a notice of 'Certification by Bushfire Consultant' (Local Government).

WAPC Ref 201566

21. Information is to be provided to demonstrate that the measures contained in Table 4 of the Bushfire Management Plan Addendum prepared by JBS&G (reference 68616/164,962; revision 1; dated 20 March 2025) have been implemented during subdivisional works.

This information should include a completed 'Compliance Certificate' prepared by the bushfire planning practitioner. (Kwinana, City of).

The approach for preparation of this BMP compliance report is consistent with Section 4.2 of the *for Planning for Bushfire Guidelines* (the Guidelines; WAPC 2024b).

Compliance Assessment

The approved BMP Addendum (JBS&G, 2025) includes seven bushfire management measures that are required to ensure the proposed development will comply with the bushfire protection criteria in the Guidelines. A bushfire risk assessment and compliance assessment were undertaken to determine if the relevant bushfire management measures documented in the endorsed BMP have been implemented (Table 1).

While some subdivisional works were yet to be completed at the time of the site inspection, WEPL can confirm based on our assessment that the relevant bushfire management measures will be implemented to comply with the endorsed BMP, as detailed in Table 1.



Table 1: BMP Compliance Assessment of Bushfire Management Plan Addendum: Apsley Estate Subdivision Application JBS&G (reference 65664/155,531; revision 1; dated 8 November 2023).

BMP Ref.	Action	Implementation status	Compliance assessment
1	Construct (or have works bonded) the public roads (including any temporary no-through-roads/emergency access ways required as part of internal staging) to the standards stated in this BMP addendum.	The road network was being constructed at the time of assessment (refer to Plate 1 in Appendix A). If completed in accordance with roadworks plan in Appendix B, these will be compliant with the BMP. The compliant temporary Emergency Access Way (EAW) has been constructed (refer to Plate 2 in Appendix A).	Not complete, compliance likely.
2	Construct (or have works bonded) the reticulated water supply to the standards stated in this BMP addendum.	Water supply and hydrant network was being constructed at the time of assessment (refer to Plate 3 and Plate 4 in Appendix A; and Appendix C).	Compliant.
3	Establish the project area, 27 m wide APZs within the Western Power easement and 100 m wide low threat staging buffer within balance Lot 9014 to a non-vegetated/low threat managed state in accordance with the requirements of this BMP addendum and landscape plans contained in Appendix B.	The Western Power easement is APZ is slashed and grass is under 100 mm in height (refer to Plate 5 and Plate 6). The entirety of Balance Lot 9014 has been modified to a non-vegetated/low threat managed state (refer to Plate 6 and Plate 7).	Compliant.
4	Temporarily quarantine via appropriate condition of subdivision the 42 proposed lots to the west and 28 proposed lots to the south/southeast (as per Figure 4) until such time that BAL29 or lower and compliant perimeter access is demonstrated where required.	These quarantined lots do not occur within Stage 15B.	Not applicable.
5	Enforce 13 m wide APZ setback within proposed Lot 125 (as per Figure 4) via restrictive covenant on title through standard condition of subdivision.	This lot does not occur within Stage 15B.	Not applicable.
6	Comply with the relevant requirements of the City of Kwinana annual firebreak notice (refer to Appendix E).	Lots within Stage 15B do not require firebreaks as per City of Kwinana Firebreak notice and are completely non-vegetated with an emergency	Not applicable.



BMP Ref.	Action	Implementation status	Compliance assessment
		access way and Wynford Road (refer to and; Appendix E).	
7	Prepare a BMP compliance report to demonstrate the relevant bushfire management measures have been implemented to deliver compliance in accordance with this BMP addendum.	This BMP compliance report meets the requirements of this management action.	Compliant.

Table 2: BMP Compliance Assessment of Bushfire Management Plan Addendum: Apsley Estate Stage 15C Subdivision Compliance Assessment JBS&G (reference 68616/164,962; revision 1; dated 20 March 2025).

BMP Ref.	Action	Implementation status	Compliance assessment
1	Construct (or have works bonded) the public roads (including any temporary no-through roads/EAWs required as part of internal development staging) and the reticulated water supply to the standards stated in this BMP addendum.	The road network was being constructed at the time of assessment (refer to Plate 1 in Appendix A). If completed in accordance with roadworks plan in Appendix B, these will be compliant with the BMP. The compliant temporary Emergency Access Way (EAW) has been constructed (refer to Plate 2 in Appendix A).	Not complete, compliance likely.
2	Prepare detailed Landscape Plans to confirm the final revegetation and low threat landscaping outcomes throughout on-site POS, Western Power easement and the PMD.	Detailed low threat landscaping plans have been provided (refer to Appendix F and Appendix G).	Compliant.
3	Establish all non-vegetated and low threat managed areas (i.e. proposed lots, roads, APZs, 100 m wide low threat staging buffers, relevant areas of POS, etc) and revegetation consistent with the detailed landscape plans stated above.	The Peel main Drain POS area east of site is only partially bushfire prone and is cleared of all vegetation other than a single row of trees. Future landscaping will be established to a low-threat state (refer to Plate 9 and Appendix F). The Western Power Easement POS area east of site contains cleared areas and slashed grass and landscaping in this area will be established and maintained to a low-threat state (refer to Appendix G).	Not complete, however compliant with intent.



BMP Ref.	Action	Implementation status	Compliance assessment
4	Establish and enforce the required 8 m APZ setback for the south-western most lot sufficient to achieve BAL-29 or lower through application of a restrictive covenant on title (as per Figure 3).	These lots to not occur within Stage 15B	Not applicable.
5	Comply with the City of Kwinana annual firebreak notice as amended (refer to Attachment C)	Lots within Stage 15B do not require firebreaks as per City of Kwinana Firebreak notice and are completely non-vegetated with an emergency access way and Wynford Road (refer to and; Appendix E).	Not applicable.
6	Undertake a BMP compliance assessment to demonstrate implementation of the required bushfire management actions throughout subdivisional works.	This BMP compliance report meets the requirements of this management action.	Compliant.



References

Standards Australia (SA). (2018). *Construction of buildings in bushfire-prone areas* (AS 3959: 2018).

JBS&G. (2023). *Bushfire Management Plan Addendum: Apsley Estate Subdivision Application*. Prepared for QUBE Property Group Pty Ltd.

JBS&G. (2025). *Bushfire Management Plan Addendum: Apsley Estate Subdivision Application*. Prepared for QUBE Property Group Pty Ltd.

Western Australian Planning Commission (WAPC). (2024a). *State Planning Policy 3.7 Planning in Bushfire Prone Areas*. Government of Western Australia.

Western Australian Planning Commission (WAPC). (2024b). *Guidelines for Planning in Bushfire Prone Areas Version 1.4 (including appendices)*. Government of Western Australia.



Appendix A:

Photographic Evidence





Plate 1: Walker Road within Stage 15B.



Plate 2: Entrance to Emergency Access Way connecting to Quartermaine Blvd.



Plate 3: Taps with protectors fitted connected to the reticulated water network within the subject site.



Plate 4: Water hydrant connected to the reticulated water network within the subject site.



Plate 5: 27m wide APZ

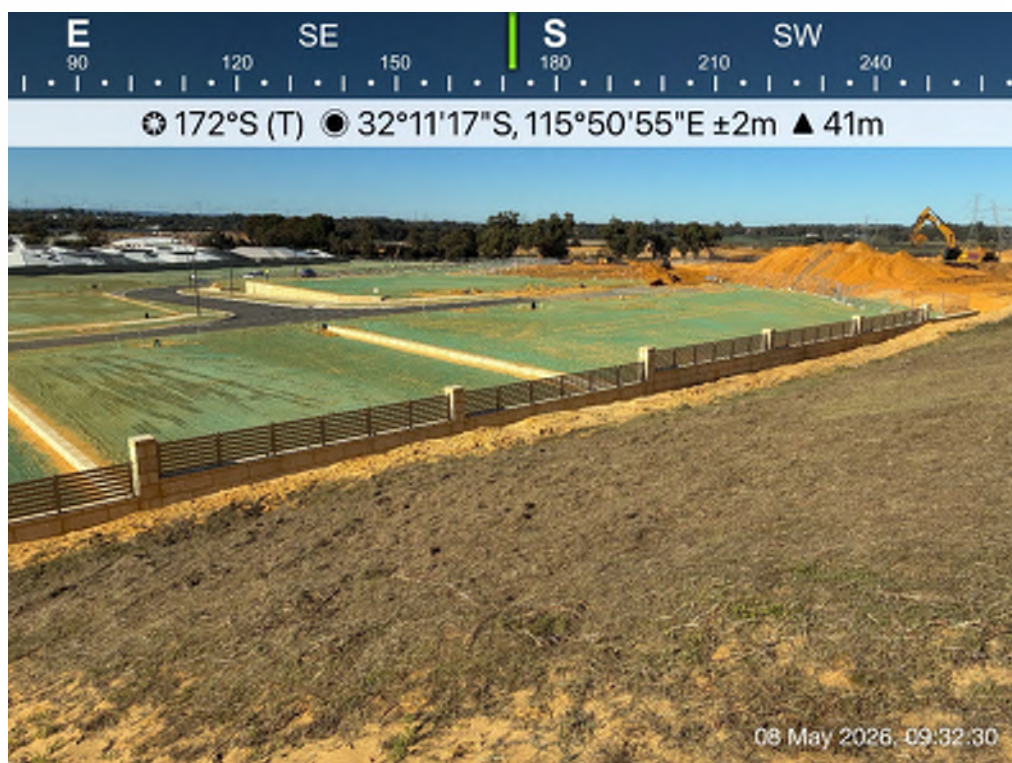


Plate 6: 27m wide APZ



Plate 7: Lot 9014 cleared land behind the single row of trees.



Plate 8: Clearing of Lot 9014

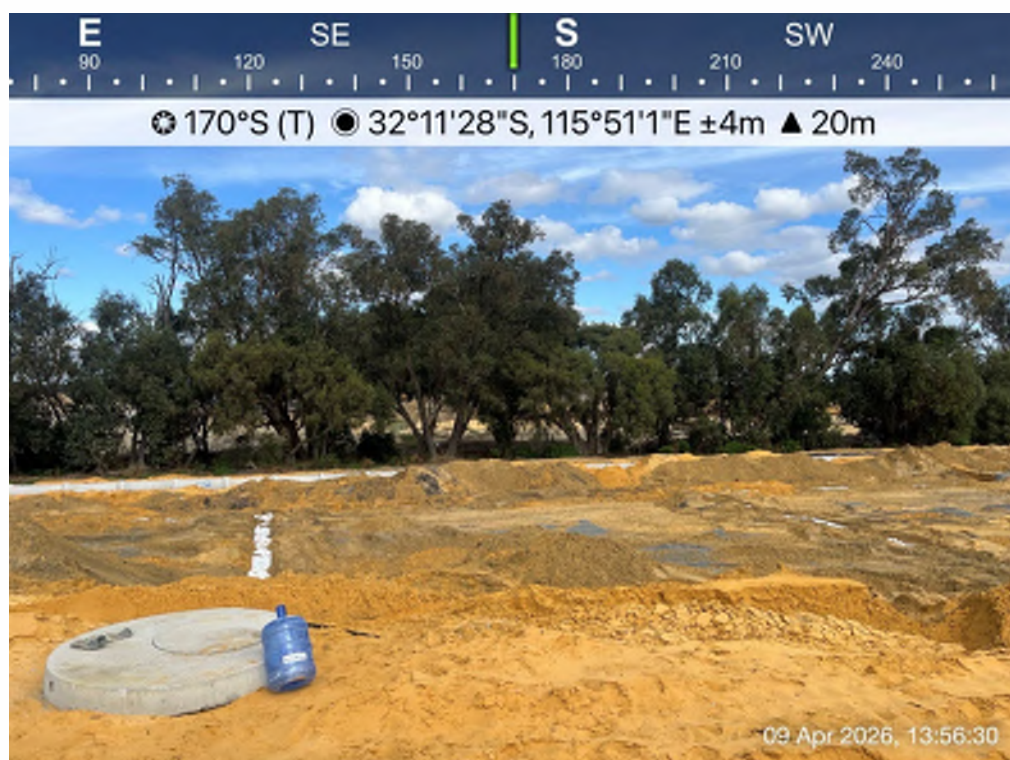
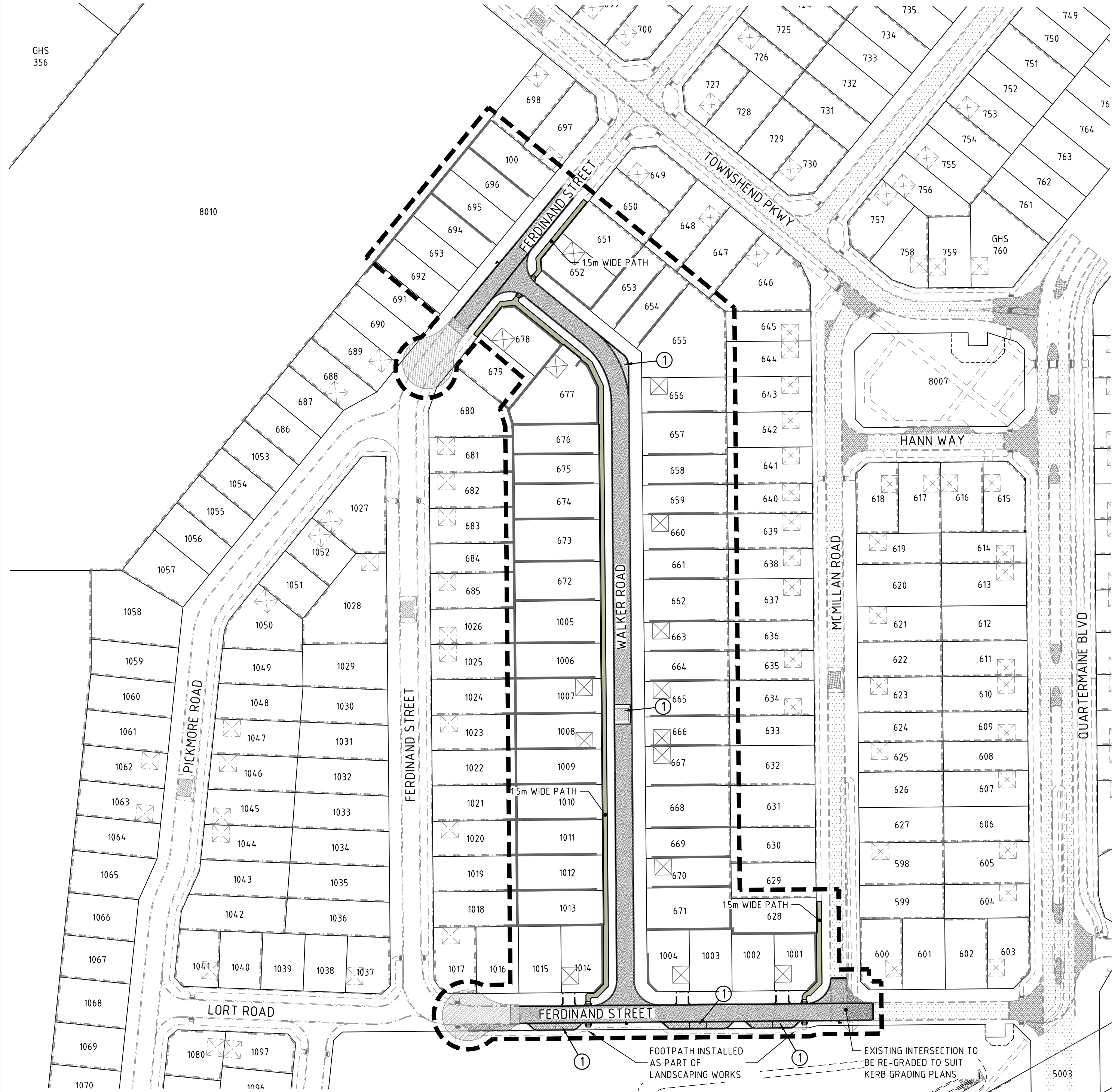


Plate 9: Peel Main Drain POS area

Appendix B: Roadworks Plan





STANDARD NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND REQUIREMENTS OF THE LOCAL AUTHORITY.
- THE CONTRACTOR SHALL LIAISE WITH ALL PUBLIC UTILITIES PRIOR TO COMMENCING WORK TO LOCATE ALL SERVICES WITHIN THE CONTRACT SITE
- ALL LEVELS SHALL BE LOCATED FROM ESTABLISHED BENCHMARKS AS ESTABLISHED BY THE PROJECT SURVEYOR.
- ALL CONNECTIONS TO EXISTING WORK SHALL BE SMOOTH AND OF NEAT APPEARANCE.
- REFER INTERSECTION DETAIL DRAWINGS FOR CORNER RADII AT INTERSECTIONS AND CUL-DE-SACS.
- ALL KERBING TO BE MOUNTABLE TYPE UNLESS NOTED OTHERWISE.
- TRANSITION BETWEEN DIFFERENT KERB TYPES SHALL BE MADE OVER A LENGTH OF 2m.
- WHERE POSSIBLE, STREET SIGNS TO BE STRAPPED TO STREET LIGHT POLES.
- ALL CUTS THROUGH LIMESTONE SHALL BE EXCAVATED TO A DEPTH OF 100mm BELOW SUB-GRADE LEVEL AND 200mm BELOW THE FINISHED LEVEL OF VERGES.
- DRAINAGE PIPES TO BE INSTALLED IN ACCORDANCE WITH AS3725 CONTRACTOR TO CONSIDER GROUND CONDITIONS, HAUNCHING, TRENCH CONDITIONS, LOAD PARAMETERS AND COMPACTION METHODS TO ENSURE INTEGRITY OF PIPE.
- MANHOLES AND SIDE ENTRY PITS SHALL BE LOCATED IN POSITIONS SHOWN IRRESPECTIVE OF THE INDICATED PIPE LENGTHS AND WHERE APPLICABLE THE PITS SHALL BE LOCATED AT THE ACTUAL LOW POINT.
- MINIMUM COVER TO DRAINAGE PIPES TO BE 600mm UNLESS NOTED OTHERWISE. CLEARANCE WITH ALL OTHER SERVICES TO BE 150mm. CONTRACTOR TO ADVISE OF ANY DISCREPANCIES.
- WHERE A SEWER LINE INTERSECTS WITH A STORMWATER DRAINAGE LINE AND THE SEWER PASSES OVER THE DRAIN THEN THE SEWER SHALL HAVE A TIMBER PILE AND KEEL PROVIDED FOR THE FULL EXTENT NECESSARY TO SUPPORT THE SEWER DURING EXCAVATION FOR THE DRAIN.
- THE ROADWORKS AND DRAINAGE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SEWERAGE RETICULATION PLAN(S) AND THE STANDARD DRAWING(S).
- STORMWATER ACCESS CHAMBER LIDS IN VERGES ARE TO BE SET TO MATCH VERGE CROSSFALLS AND LEVELS.

STAGE NOTES

- LOCAL AUTHORITY - CITY OF KWINANA
- PROJECT SURVEYOR - MNG
- LANDSCAPE ARCHITECT - PLAN E
- REFERENCE DRAWINGS:
 - 4.1 SEWERAGE RETICULATION PLAN 6027-15B-400 & 401
 - 4.4 WATER RETICULATION PLAN 6027-15B-500
 - 4.5 ROADS & DRAINAGE PLAN 6027-15B-610
 - 4.6 INTERSECTION DETAILS 6027-15B-620
 - 4.7 SUBSOIL DRAINAGE PLAN 6027-15B-750 & 751
- DRAINAGE PIPES TO BE LAID ON 15m ALIGNMENT IN ROAD RESERVES UNLESS NOTED OTHERWISE.
- STORMWATER PIPES SHALL BE REINFORCED CONCRETE (CLASS 2) R.R.J. UNLESS NOTED OTHERWISE.
- STORMWATER PIPES SHALL BE S80 HOPE R.R.J. OR EQUIVALENT UNLESS NOTED OTHERWISE.
- ADD ANY OTHER NOTES HERE THAT ARE STAGE SPECIFIC.

KERB TYPES

DESCRIPTION	SYMBOL
MOUNTABLE KERB	MK
SPECIAL MOUNTABLE KERB	MK(S)
SEMI MOUNTABLE KERB	SMK
REINFORCED SEMI-MOUNTABLE KERB	SMK(R)
BARRIER KERB	BK
SPECIAL BARRIER KERB	BK(S)
FLUSH KERB	FK
REINFORCED FLUSH KERB	RFK
600mm CONCRETE RAMP	CR
1200mm CONCRETE RAMP	12CR

PAVEMENT DETAILS

SYMBOL	TYPE	ELEMENT	THICKNESS (mm)
	EXISTING	N/A	N/A
	BLACK ASPHALT	LIMESTONE SUB-BASE	150
		BASE COURSE ASPHALT	100
		WEARING COURSE ASPHALT AC - 10	25
	RED ASPHALT	LIMESTONE SUB-BASE	150
		BASE COURSE ASPHALT (BLACK)	100
		RED ASPHALT WITH 94% CRUSHED LATERITE AC - 10	25
	BLACK ASPHALT (40mm AC10)	LIMESTONE SUB-BASE	150
		BASECOURSE (ESL OR ROCKBASE)	100
		WEARING COURSE ASPHALT - AC10	40
	BLACK ASPHALT INTERSECTION MIX	LIMESTONE SUB-BASE	150
		BASECOURSE (ESL OR ROCKBASE)	100
		WEARING COURSE ASPHALT - AC14	50
	RED ASPHALT CYCLE PATH	LIMESTONE SUB-BASE	225
		WEARING COURSE ASPHALT AC - 10	25

BRICK PAVING TABLE

No.	TYPE	COLOUR	PATTERN
①	BRIKMAKERS EASIPAVE 80 (220x110x85mm)	CHARCOAL	HERRINGBONE
	BRIKMAKERS EASIPAVE 80 (220x110x85mm)	CHARCOAL	HEADER COURSE
②	BRIKMAKERS EASIPAVE 80 (220x110x85mm)	SILVER	HERRINGBONE
	BRIKMAKERS EASIPAVE 80 (220x110x85mm)	SILVER	HEADER COURSE
④	BRICK PAVING BY OTHERS		

LEGEND

DESCRIPTION	SYMBOL
LIMIT OF WORKS BOUNDARY	
PROPOSED ROAD	
EXISTING ROAD	
FUTURE ROAD	
PROPOSED CONCRETE PATH AND PRAM RAMP	
PROPOSED RED ASPHALT SHARED PATH AND PRAM RAMP	
PROPOSED DRAINAGE PIPE	
EXISTING DRAINAGE PIPE	
FUTURE DRAINAGE PIPE	
TABLE DRAIN	
PROPOSED DRAINAGE PIPE WITH JUNCTION PIT (JP), SIDE ENTRY PIT (SEP), GRATED PIT (GP) AND CIRCULAR GRATED PIT (CGP)	
DRAINAGE PIT LABEL	
DRAINAGE PIT LID NOTATION	
UPSTREAM INVERT LEVEL	
PIPE DIAMETER / GRADE	
DISTANCE BETWEEN PITS	
DOWNSIDE INVERT LEVEL	
DESIGNATED GARAGE LOCATION	
EXTEND ROAD PAVEMENT 30m PAST LIMIT OF ASPHALT AND INSTALL D4-5 CHEVRON BOARD	
EXTEND ROAD PAVEMENT 30m PAST LIMIT OF ASPHALT. CONSTRUCT TEMPORARY TURNAROUND AND INSTALL 2 No D4-5 HAZARD MARKERS	
PROPOSED KERB TRANSITION	
POST WITH STREET NAME PLATES	
CHEVRON BOARD	
PROPOSED RETAINING WALL	
EXISTING RETAINING WALL	
FUTURE RETAINING WALL	

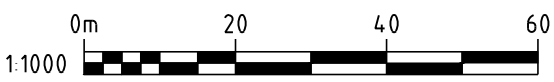
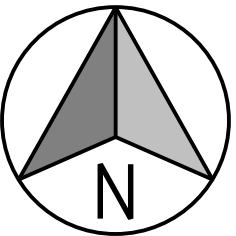
LEGEND

DESCRIPTION	SYMBOL
PROPOSED SEWER MAIN	
EXISTING SEWER MAIN	
FUTURE SEWER MAIN	
PROPOSED SEWER PRESSURE MAIN	
EXISTING SEWER PRESSURE MAIN	
FUTURE SEWER PRESSURE MAIN	
PROPOSED SUBSOIL DRAINAGE PIPE	
EXISTING SUBSOIL DRAINAGE PIPE	
FUTURE SUBSOIL DRAINAGE PIPE	
PROPOSED WATER MAIN	
EXISTING WATER MAIN	
FUTURE WATER MAIN	
PROPOSED GAS MAIN	
EXISTING GAS MAIN	
FUTURE GAS MAIN	
PROPOSED OVERHEAD POWER	
EXISTING OVERHEAD POWER	
FUTURE OVERHEAD POWER	
PROPOSED UNDERGROUND POWER	
EXISTING UNDERGROUND POWER	
FUTURE UNDERGROUND POWER	
PROPOSED COMMUNICATION CONDUIT	
EXISTING COMMUNICATION CONDUIT	
FUTURE COMMUNICATION CONDUIT	
PROPOSED IRRIGATION	
EXISTING IRRIGATION	
FUTURE IRRIGATION	

NOTICE TO CONTRACTOR

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE THE NATURE AND LOCATION OF ALL SERVICES WHICH MAY BE ENCOUNTERED AND TO CONSULT WITH THE RELEVANT SERVICE AUTHORITIES PRIOR TO COMMENCEMENT OF EXCAVATIONS. FAILURE TO DO SO OR TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTOR'S LIABILITY FOR REPAIR OF ALL SERVICES DAMAGED BY HIM DURING CONSTRUCTION WORKS. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY FOR THE PROTECTION OF ALL EXISTING SERVICES.

0	26.08.25	ARH	SM	A. THOMSON	ISSUED FOR CONSTRUCTION
C	15.08.25	ARH	SM	A. THOMSON	FUTURE ROAD LAYOUT UPDATED
B	26.06.25	ARH	SM	A. THOMSON	LOTS 1001, 1004 & 1014 REVISED
A	16.06.25	ARH	SM	A. THOMSON	ISSUED FOR APPROVAL
REV	DATE	DRN	CKD	APP	AMENDMENT



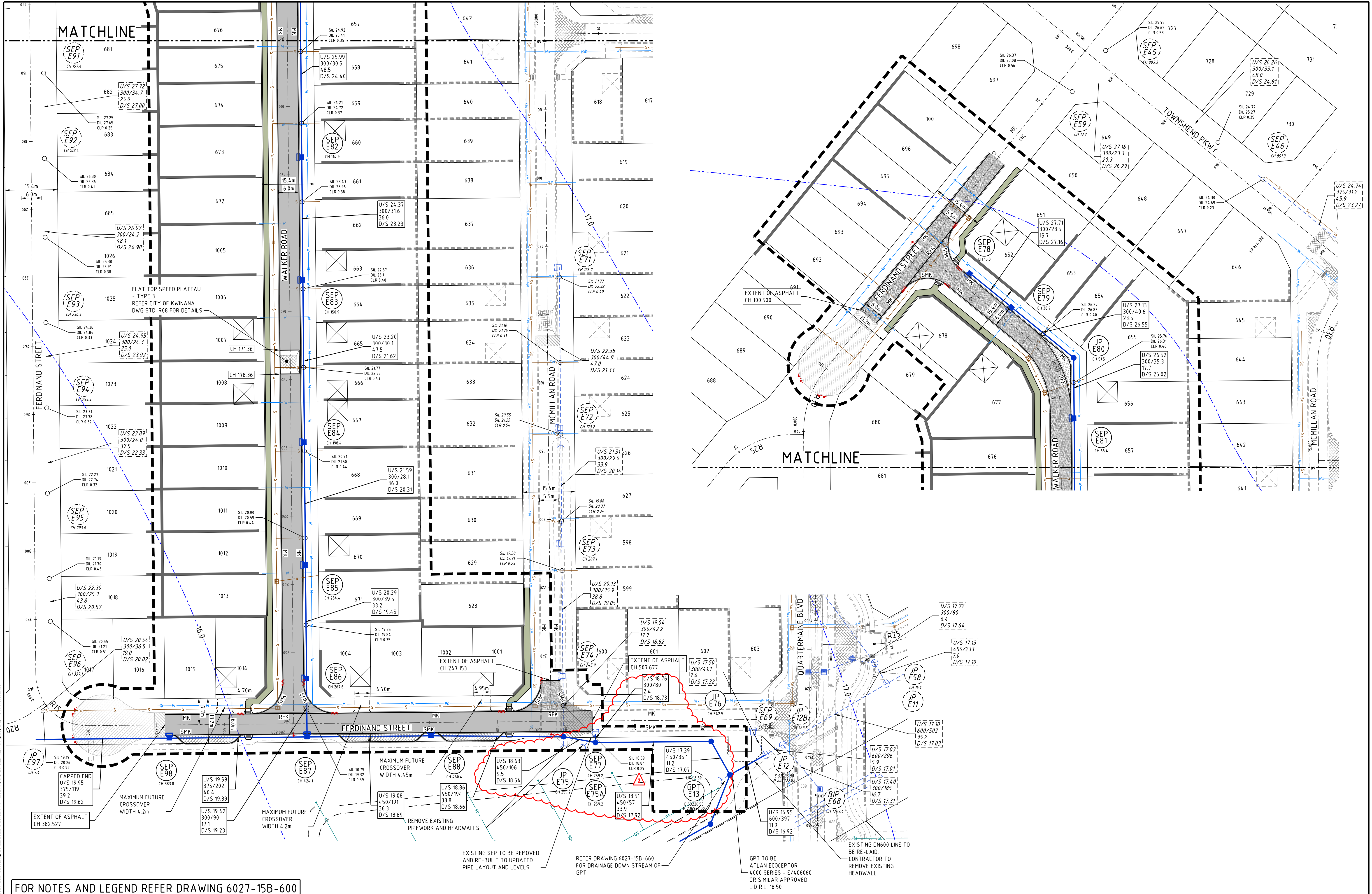
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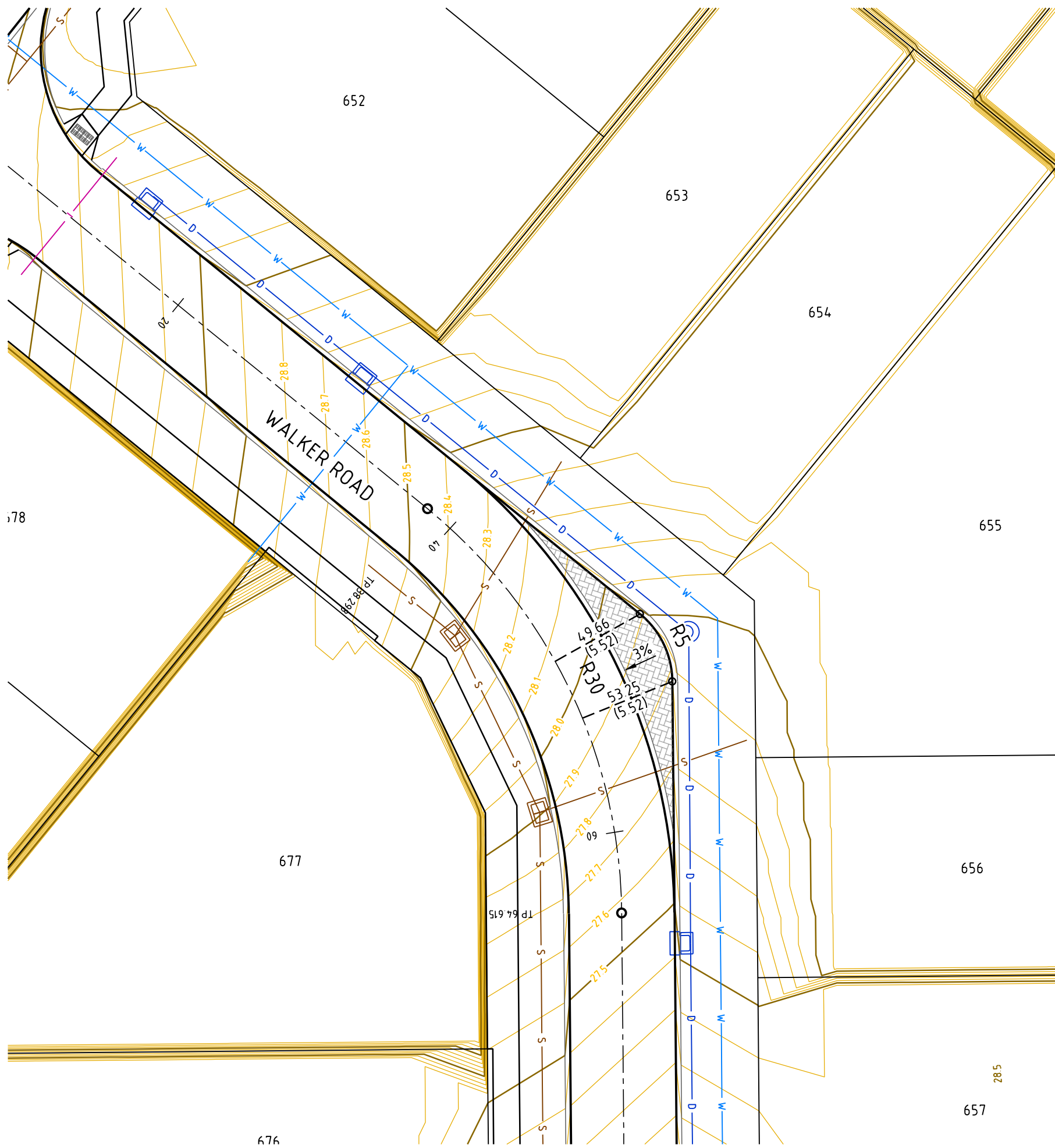
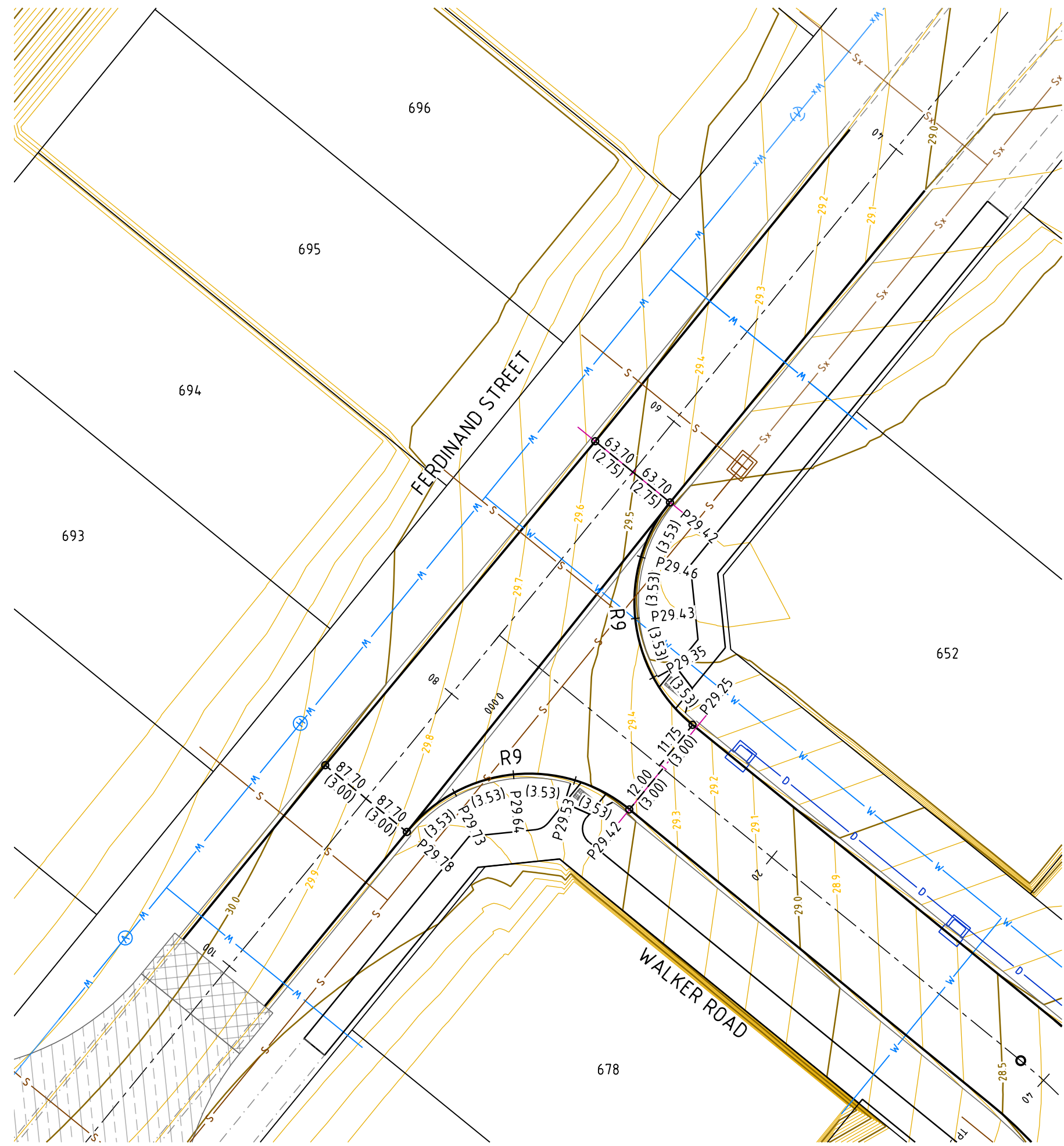
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APLEY - STAGE 15B
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WAPC No.
164 335/201566
DRAWING No.
6027-15B-600
REVISION
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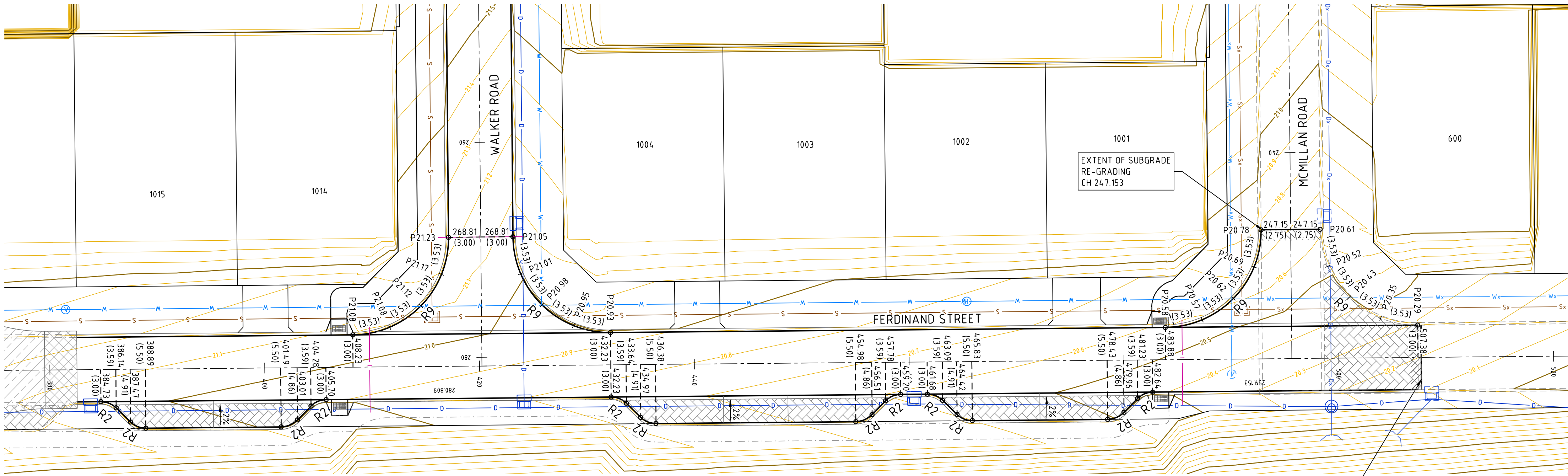
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FOR NOTES AND LEGEND REFER DRAWING 6027-15B-600												
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1	03.09.25	ARH	SM	A. THOMSON	DRAINAGE DOWSTREAM OF GPT UPDATED							
0	26.08.25	ARH	SM	A. THOMSON	ISSUED FOR CONSTRUCTION							
C	15.08.25	ARH	SM	A. THOMSON	DRAINAGE & ROAD LAYOUT UPDATED ALONG FERDINAND STREET							
B	26.06.25	ARH	SM	A. THOMSON	LOTS 1001, 1004 & 1014 REVISED							
REV	DATE	DRN	CKD	APP	AMENDMENT							

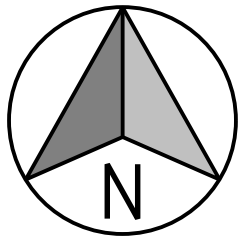


LEGEND	
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FINISHED SURFACE CONTOUR MINOR	25.1
FINISHED PAVEMENT LEVEL	P25.00
SETOUT INFORMATION CHAINAGE / OFFSET	10.00 (3.00)
PROPOSED ROAD	
EXISTING ROAD	
FUTURE ROAD	
PROPOSED KERB TRANSITION	MM
DRAINAGE PIPE	D
SEWER MAIN	S
SUBSOIL MAIN	SD
WATER MAIN	W



NOTICE TO CONTRACTOR
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0	26.08.25	ARH	SM	A. THOMSON	ISSUED FOR CONSTRUCTION
B	15.08.25	ARH	SM	A. THOMSON	UPDATED TO SUIT NEW ROAD LAYOUT
A	16.06.25	ARH	SM	A. THOMSON	ISSUED FOR APPROVAL
REV	DATE	DRN	CKD	APP	AMENDMENT



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CLIENT
QUBE
APPROVED
DESIGNED
ARH
SCALE
1:250

PROJECT
APSLEY - STAGE 15B
TITLE
INTERSECTION DETAILS
WAPC No.
164335/201566
DRAWING No.
6027-15B-620
REVISION
0

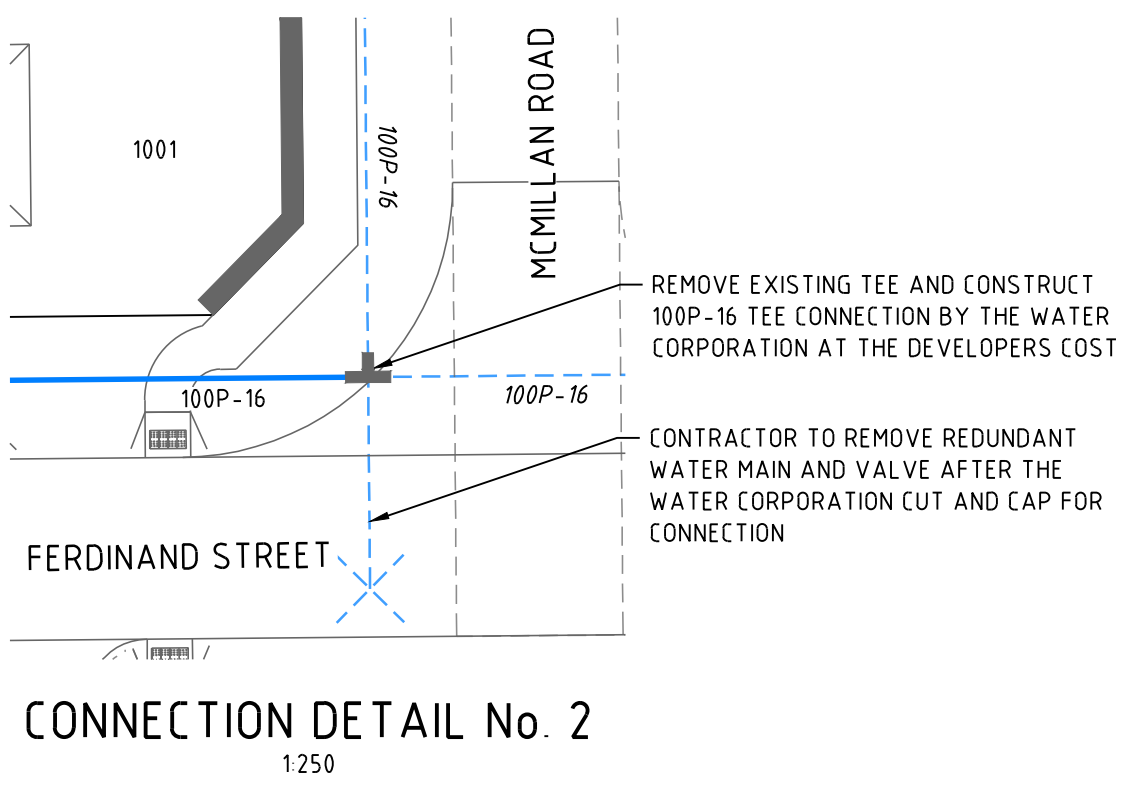
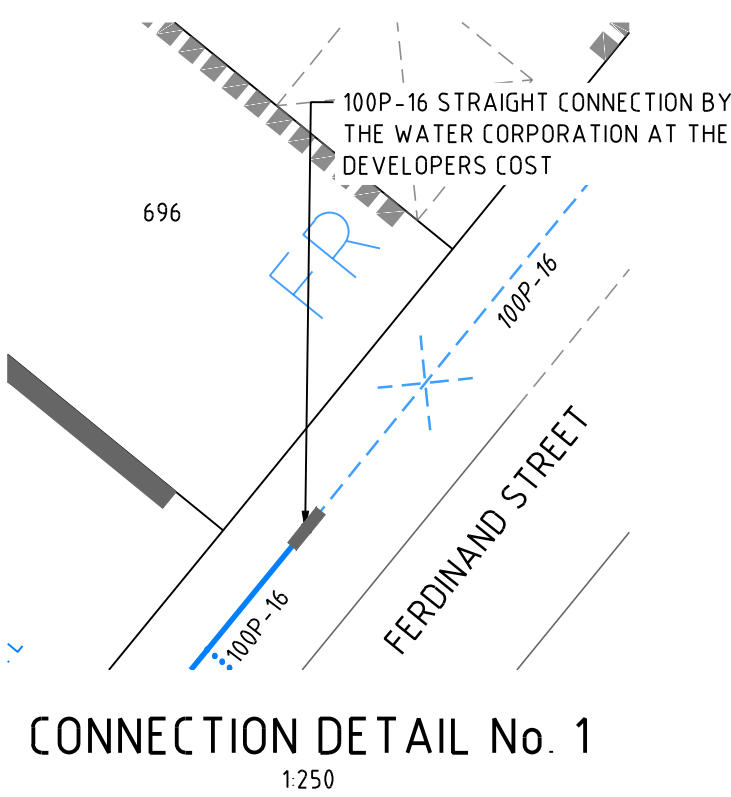
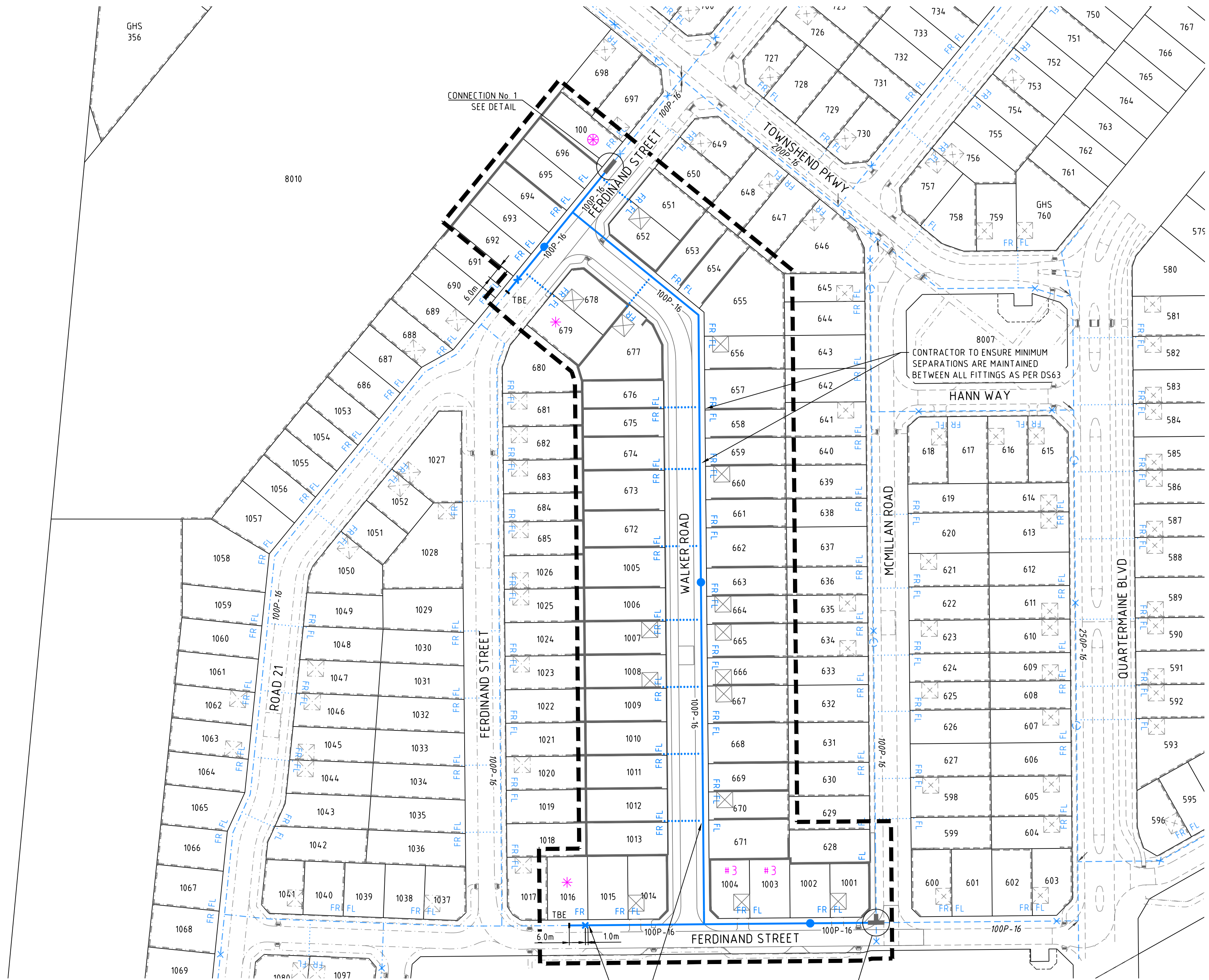
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Appendix C:

Water Reticulation Plan



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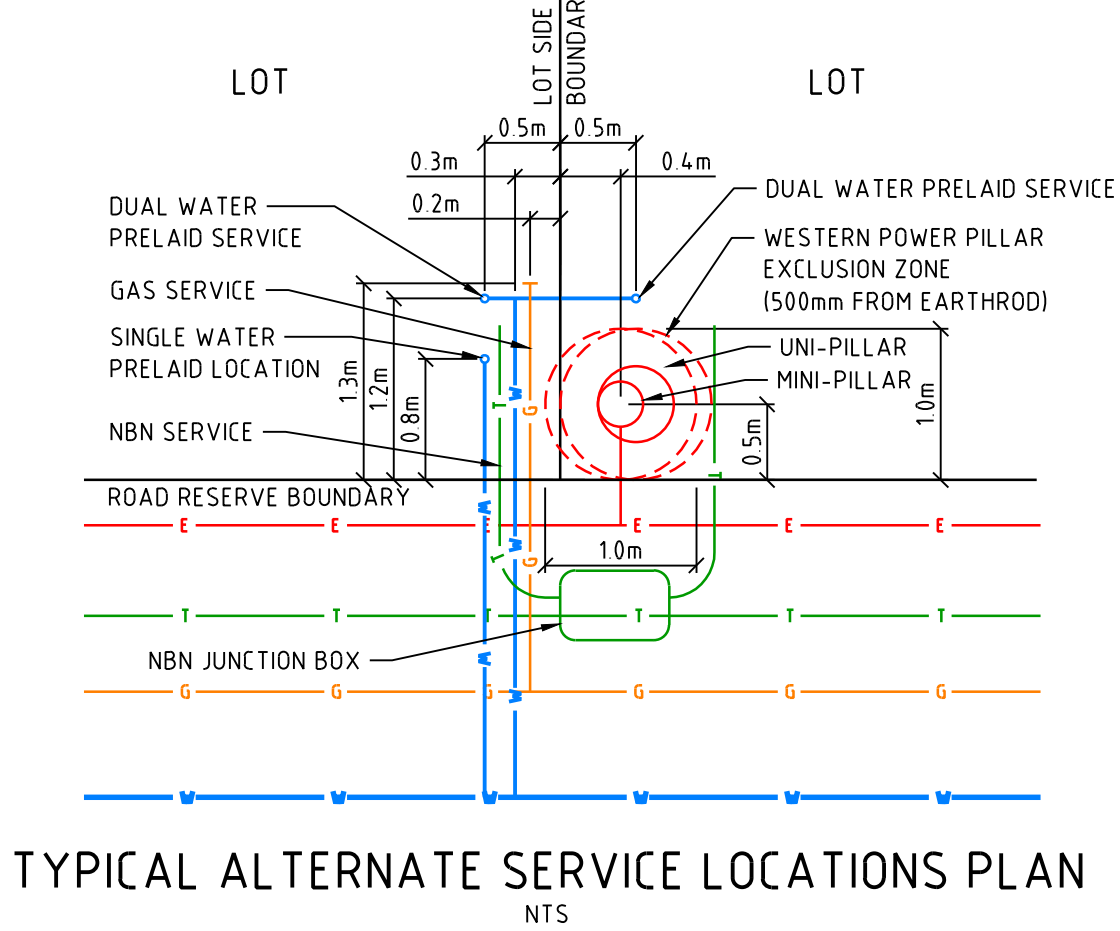
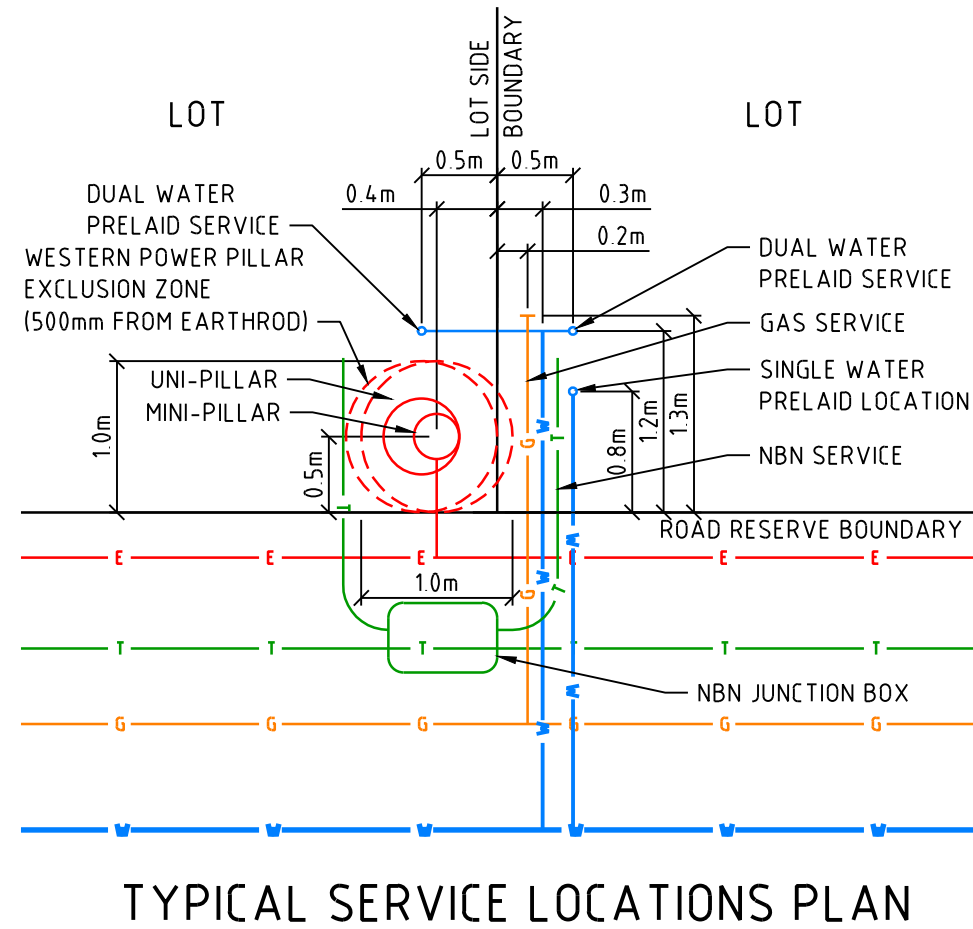


CONTRACTOR'S RESPONSIBILITY

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CO-ORDINATE THE INSTALLATION OF ALL SERVICES WITHIN THE SUBDIVISION. THE CONSULTANT SHOULD ENSURE THAT THERE IS NO CONFLICT BETWEEN THE POSITIONING OF FULLY PRE-LAID WATER SERVICES WITHIN THE LOT AND AND WESTERN POWER UNDERGROUND POWER CONNECTION PILLARS. THE SUPERINTENDENT SHOULD BE CONSULTED IF AMENDMENTS TO FULLY PRE-LAID SERVICES ARE REQUIRED.

SERVICES

- ALL WATER MAINS SHALL BE INSTALLED ON 2.1m ALIGNMENT EXCEPT AS OTHERWISE AGREED
- FULLY PRE-LAID WATER SERVICES TO BE INSTALLED IN ACCORDANCE WITH W.C. WATER RETICULATION DESIGN STANDARD DS 63 VERSION 3 REVISION 15, DECEMBER 2021 AND READ IN CONJUNCTION WITH W.C. STANDARD ARRANGEMENT DRG No's BD 62-8-15 AND BD62-8-24
- WATER SERVICE LOCATIONS SHALL BE IN ACCORDANCE WITH THE GUIDELINES FOR POSITIONING CONTAINED IN DRG No. BD62-8-14.
- WHERE POSSIBLE LOTS ARE ARRANGED IN PAIRS WITH A DUAL SERVICE PIPE ENTERING THE RIGHT HAND SIDE OF THE PAIR OF LOTS AND SPLITTING LEFT AND RIGHT TO SUPPLY EACH PAIR OF METERS
- WHERE SHORT AND LONG SINGLE SERVICES ARE INDICATED THE SERVICE PIPE AND METER SHOULD, IF POSSIBLE, BE LOCATED AT THE LEFT HAND SIDE BOUNDARY OF LOTS.
- FOR A STRAIGHT ROAD RESERVE, SERVICE PIPES SHALL BE ALIGNED AT RIGHT ANGLES TO FRONT BOUNDARIES, RATHER THAN TO THE SUPPLY WATER MAINS.
- WHERE THERE IS A BEND IN THE ROAD RESERVE AT THE SIDE BOUNDARY, THE SERVICE PIPE SHALL BE POSITIONED PARALLEL TO THE LINE BISECTING THE ANGLE.
- FL AND FR (FULLY PRELAID LEFT & RIGHT) INDICATES THE SIDE OF THE LOT WHEN VIEWED FROM THE ROAD FRONTAGE WHICH IS SELECTED FOR ITS METER LOCATION.
- FULLY PRE-LAID WATER SERVICES INSTALLED IN STAIR LANDINGS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD WATER CORPORATION DRG No. BD62-2-9.



NOTICE TO CONTRACTOR

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE THE NATURE AND LOCATION OF ALL SERVICES WHICH MAY BE ENCOUNTERED AND TO CONSULT WITH THE RELEVANT SERVICE AUTHORITIES PRIOR TO COMMENCEMENT OF EXCAVATIONS. FAILURE TO DO SO OR TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTOR'S LIABILITY FOR REPAIR OF ALL SERVICES DAMAGED BY HIM DURING CONSTRUCTION WORKS. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY FOR THE PROTECTION OF ALL EXISTING SERVICES.

WORKS AGREEMENT RETICULATION SUBMISSION

This plan is accepted as being in accordance with the endorsed Concept Plan: MW06-100-001-010

Compliance with relevant design standards and manuals remains the responsibility of the Design Engineer.

No works are to commence on site until start-up meeting requirements have been made with the relevant Asset Inspector. Refer to the Developers' Manual for contact details.

OW08-103-001-01A

FILE: 198217125

LEGEND

DESCRIPTION	SYMBOL
RETICULATION AREA BOUNDARY	---
PROPOSED WATER MAIN	---
PROPOSED VALVE (No. = 2)	---
PROPOSED HYDRANT (No. = 3)	---
PROPOSED PRELAID LONG SERVICE	---
CHANGE IN PIPE SIZE	---
FLUSHING POINT (No. = 0)	---
TEMPORARY BLANK END AND FLUSHING POINT (No. = 2)	---
CONNECTION BY WATER CORPORATION (No. = 2)	---
EXISTING MAIN, HYDRANT & VALVE	---
FUTURE MAIN, HYDRANT & VALVE	---
PROPOSED RETAINING WALL	---
EXISTING RETAINING WALL	---
FUTURE RETAINING WALL	---
DEFERRED SERVICE	'D'
SERVICE LAID IN THIS STAGE FOR RELEASE IN FUTURE STAGE	*
SERVICE LAID IN PREVIOUS STAGE TO BE RELEASED IN THIS STAGE	*
SERVICE UNDER RETAINING WALL (REFER DETAIL THIS PLAN)	#1
SERVICE IN BELOW GROUND PIT (REFER WC DWG BD62-2-9)	#2
ALTERNATE SERVICE LOCATION (REFER DETAIL THIS PLAN)	#3

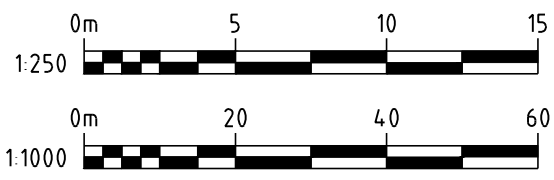
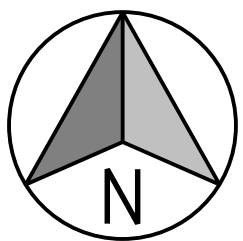
SERVICES	QTY (No.)
PRELAID SHORT DUAL	14
PRELAID LONG DUAL	9
PRELAID SHORT SINGLE	4
PRELAID LONG SINGLE	2
TOTAL	29
TOTAL NUMBER OF LOTS SERVED	52
NUMBER OF DEFERRED SERVICES	0
EXTENSION	QTY (m)
100 P-16	462.9

WARNING TO CONTRACTOR UXO

THE SITE IS IDENTIFIED AS HAVING RISK OF UNEXPLODED ORDNANCE.

"NO EXCAVATION OR OTHER DISTURBANCE OF THE SOIL ON THIS SITE SHOULD BE CARRIED OUT WITHOUT FIRST OBTAINING CLEARANCE FROM THE UNEXPLODED ORDNANCE BRANCH OF THE W.A. POLICE DEPARTMENT."

0	05.08.25	ARH	SM	A. THOMSON	ISSUED FOR WATER CORPORATION APPROVAL AND CONSTRUCTION
B	24.07.25	ARH	SM	A. THOMSON	WALL LAYOUT AND SERVICE LOCATIONS UPDATED
A	16.06.25	ARH	SM	A. THOMSON	ISSUED FOR WATER CORPORATION REVIEW
REV	DATE	DRN	CKD	APP	AMENDMENT



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This plan is not to be used for construction unless issued as revision 0 or higher.

CW Cossill & Webley
CONSULTING ENGINEERS
Mailing Address
PO Box 680
Subiaco WA 6904
Street Address
B12 (Level 2) 431 Roberts Road
Subiaco WA 6008
T (08) 9422 5800 F (08) 9422 5801 E admin@cosweb.com.au

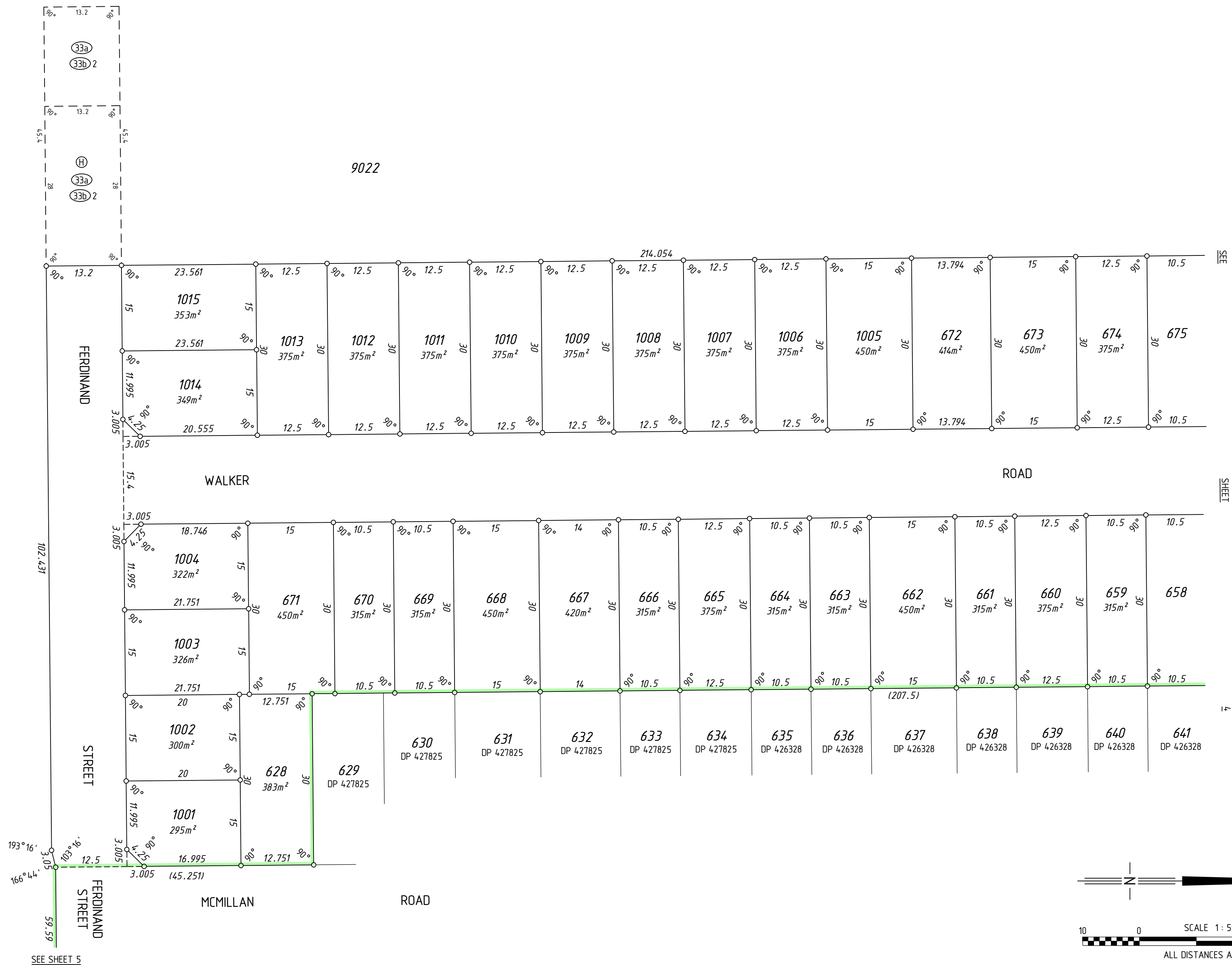
QUBE
APPROVED
DESIGNED
SCALE
1:250 1:1000

PROJECT
APSLEY - STAGE 15B
TITLE
WATER RETICULATION PLAN
WAPC No.
164335/201566
DRAWING No.
6027-15B-500
REVISION
0

ORIGINAL SIZE
A1

Appendix D: Deposited Plans





MNG Ref : 9675dp-272c - Stage 15B - DP431479.CSD

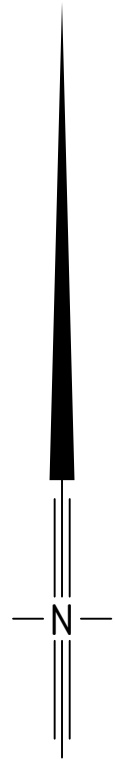
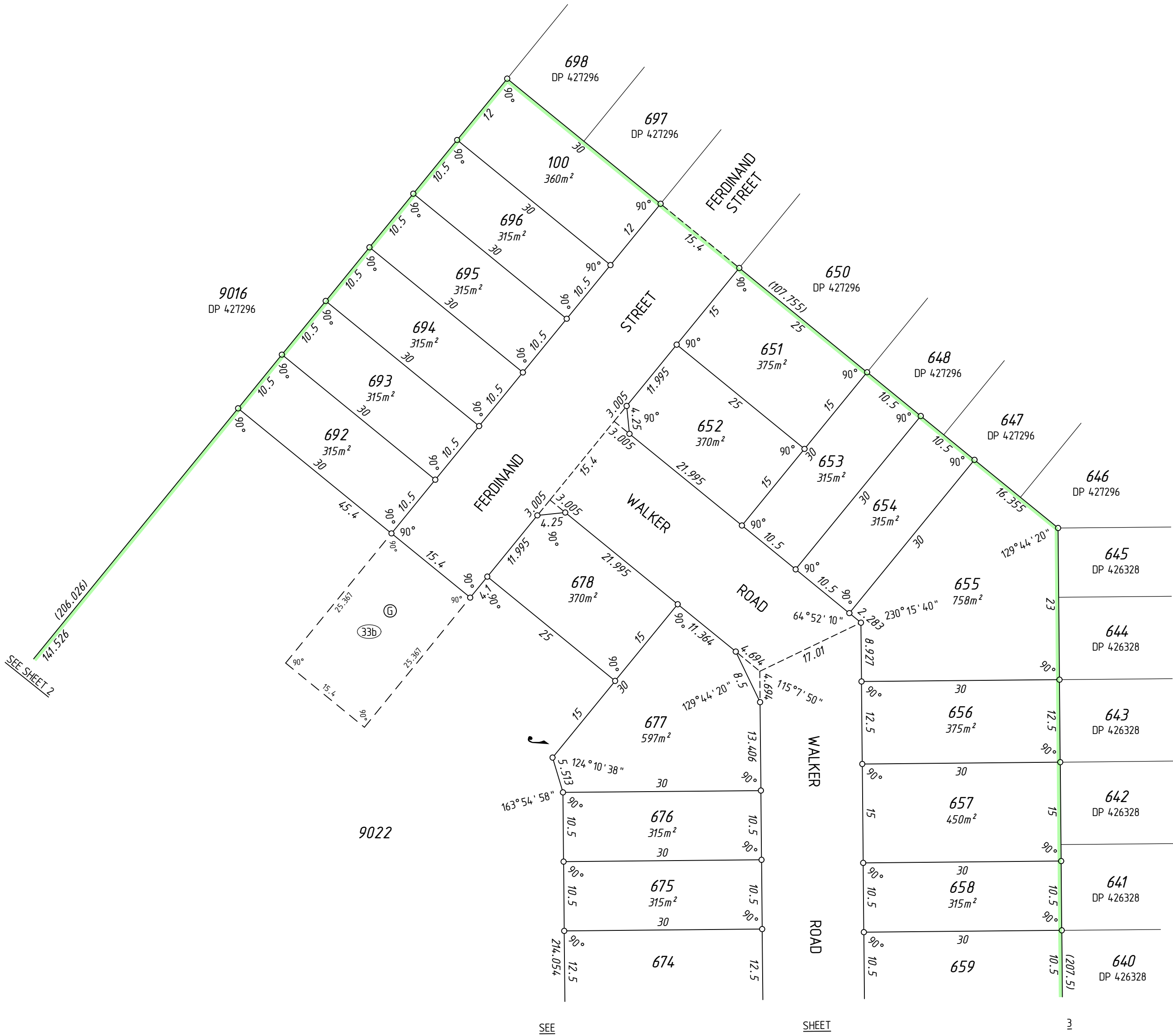
MC MULLEN NOIAN GROUP PTY LTD
PO Box 124, Bull Creek W.A. 6149
Tel: (08) 6436 1599
Email: info@mngsurvey.com.au

ADDITIONAL SHEETS
SURVEY SHEET

SHEET
3 OF 11

VERSION NUMBER
1

DEPOSITED PLAN
431479



10 0 40
SCALE 1 : 500 @ A2
ALL DISTANCES ARE IN METRES



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MNG Ref : 96755dp-272c - Stage 15B - DP431479.CSD

ADDITIONAL SHEETS
SURVEY SHEET

SHEET

4

SHEETS

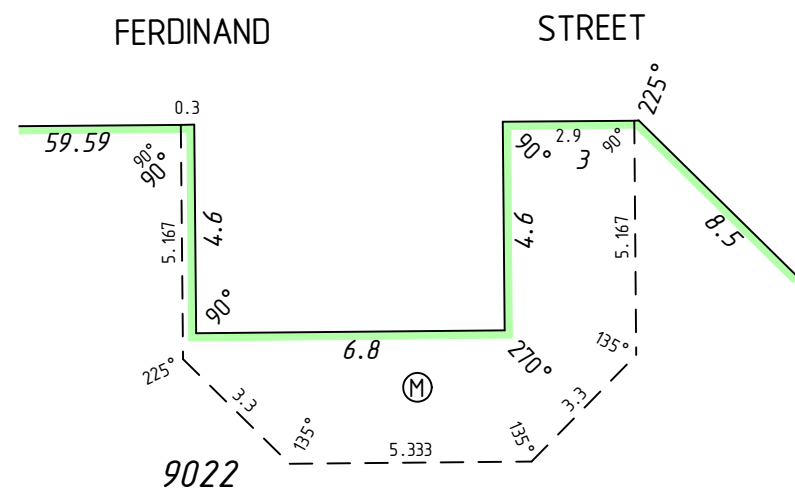
OF 11

VERSION NUMBER

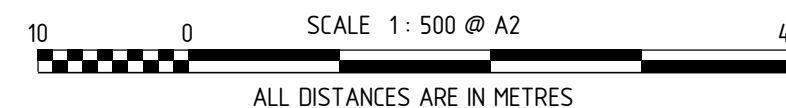
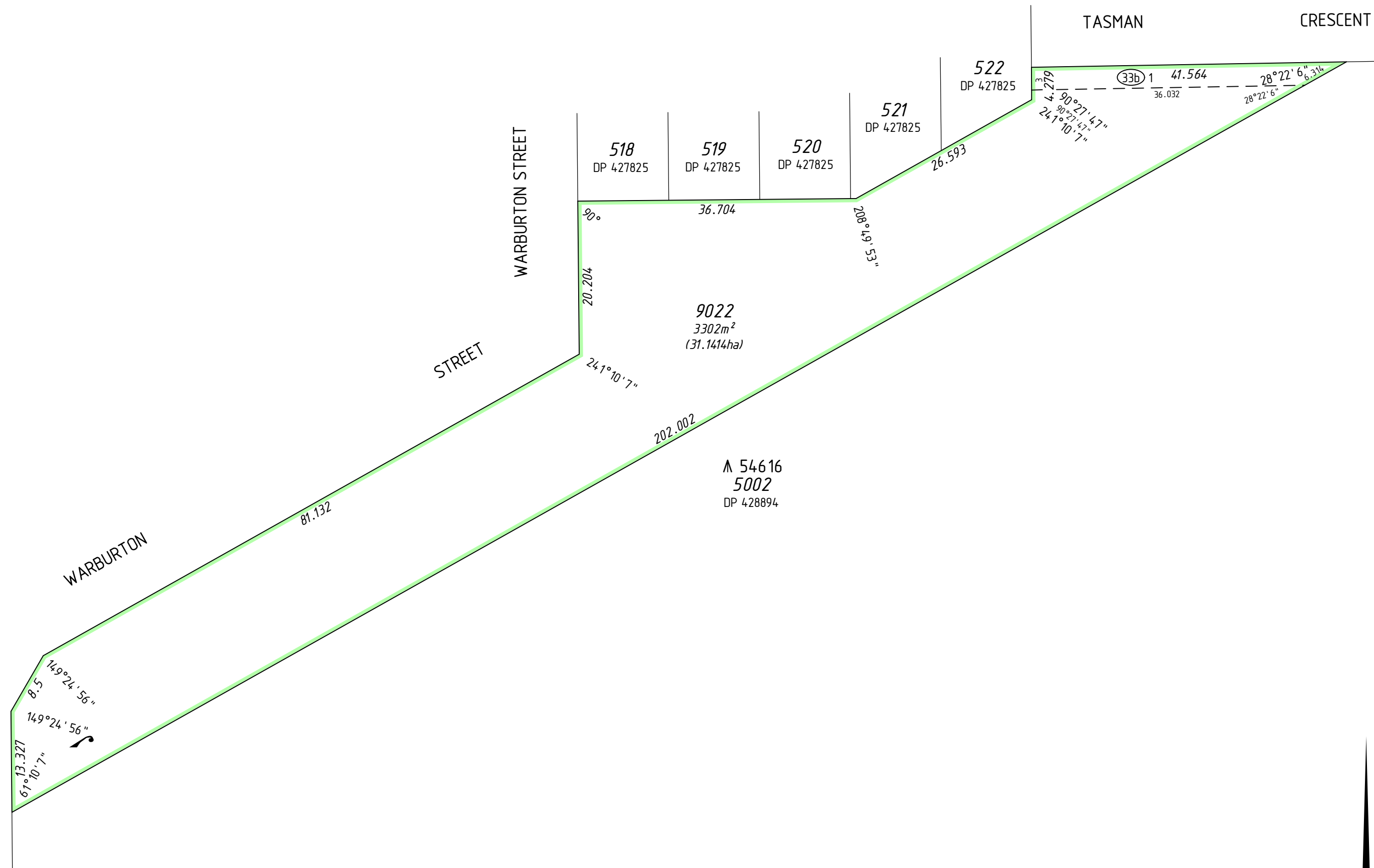
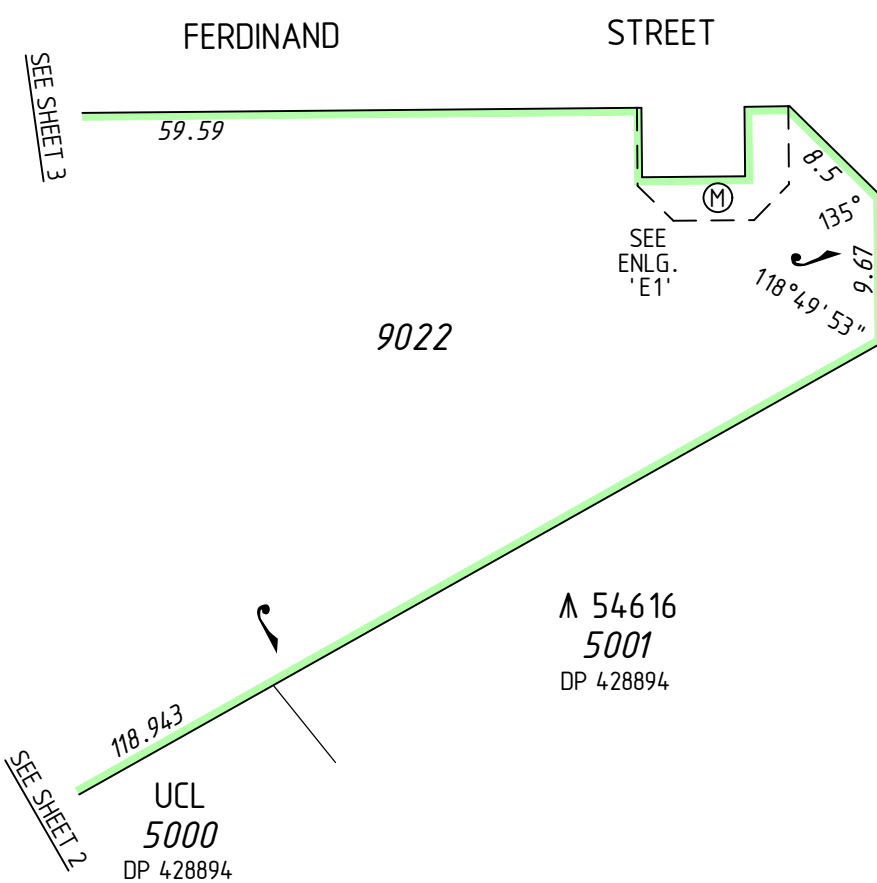
1

DEPOSITED PLAN

431479



ENLARGEMENT 'E1'
NOT TO SCALE



MC MULLEN NOIAN GROUP PTY LTD
PO Box 124, Bull Creek W.A. 6149
Tel: (08) 6436 1599
Email: info@mngsurvey.com.au

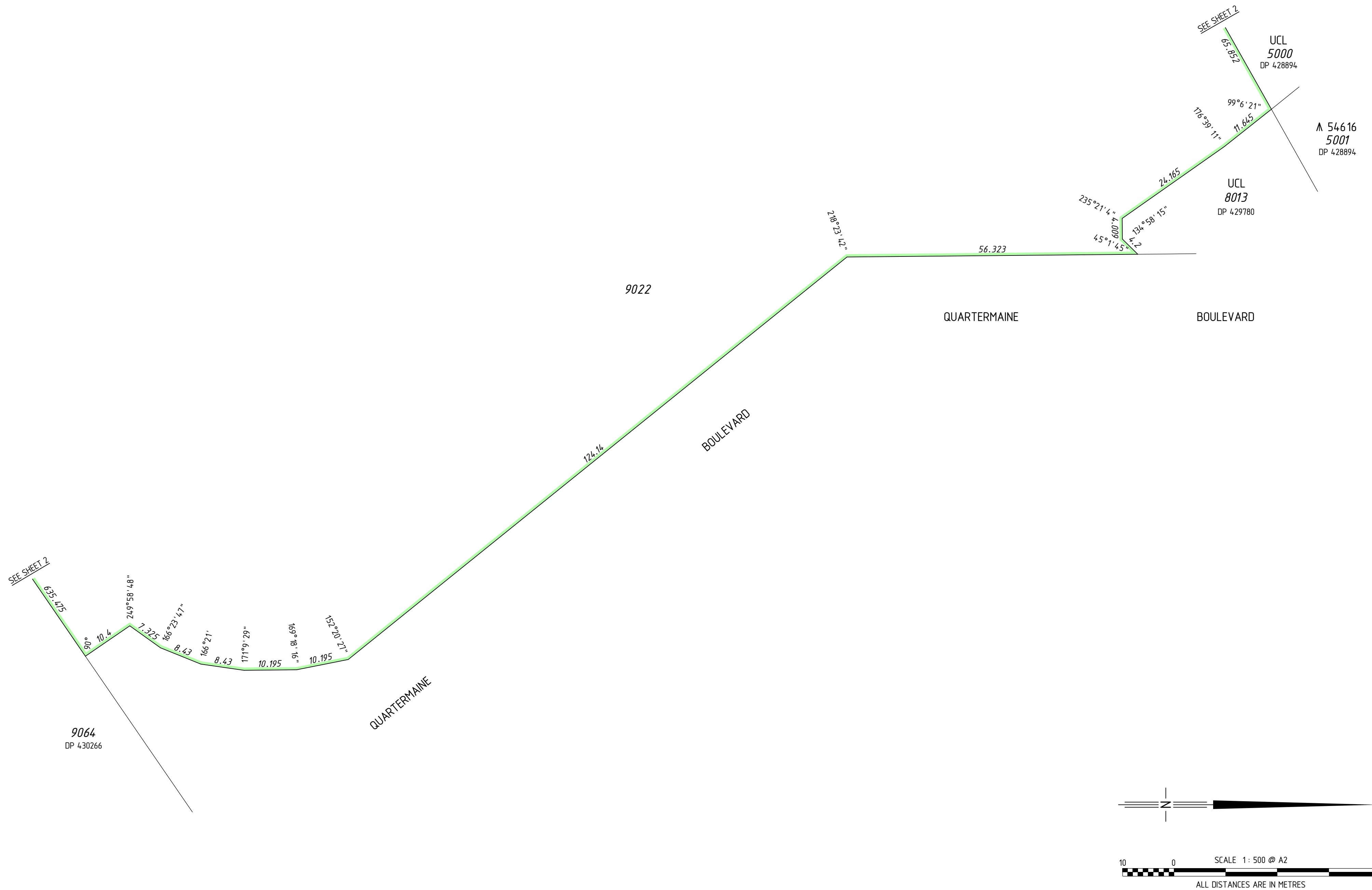
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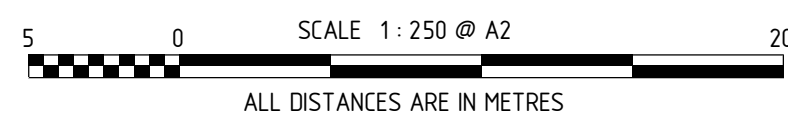
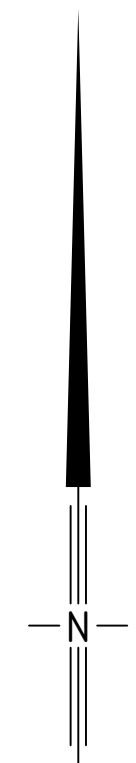
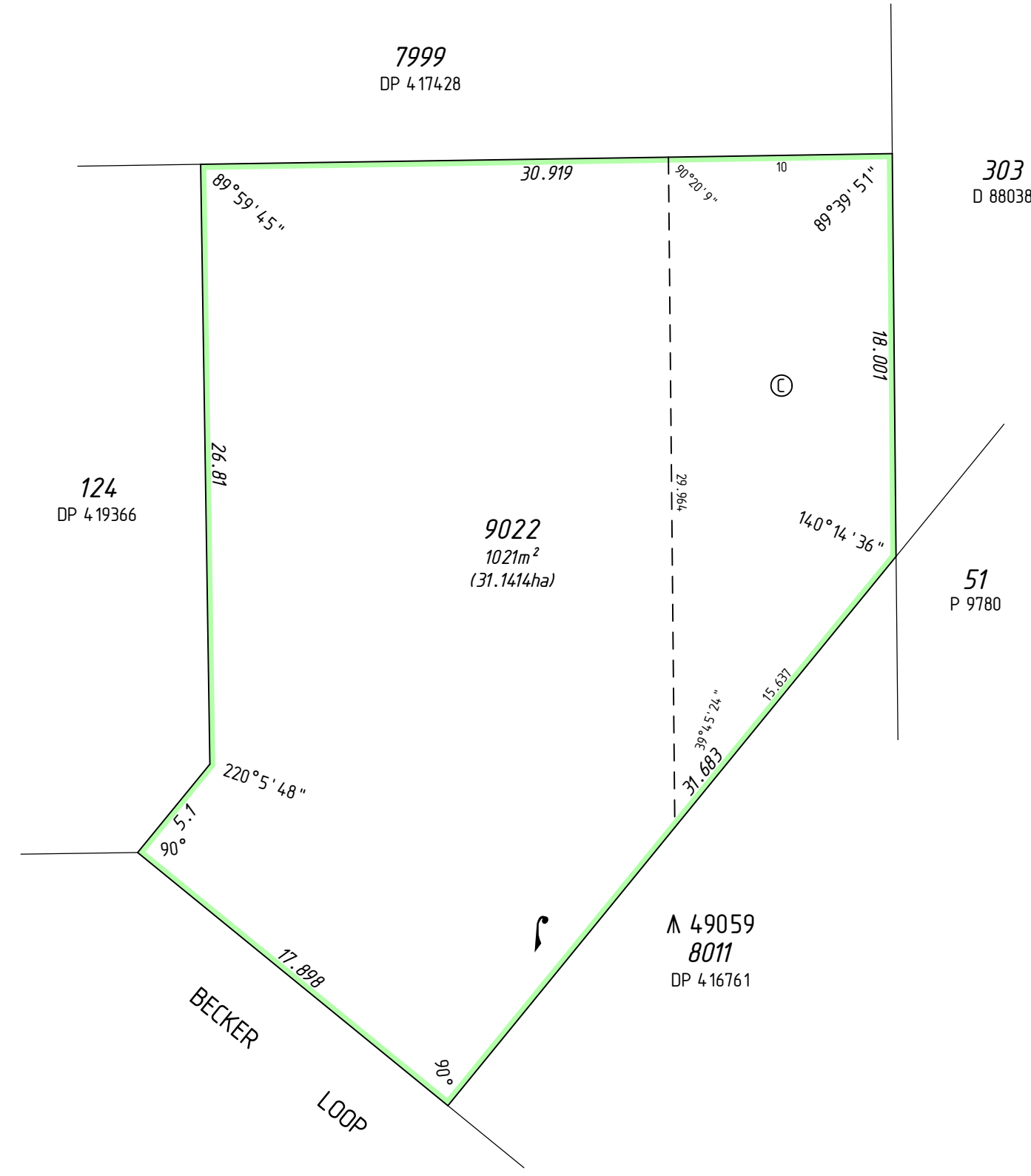
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SURVEY SHEET

SHEET
5 OF 11

VERSION NUMBER
1

DEPOSITED PLAN
431479





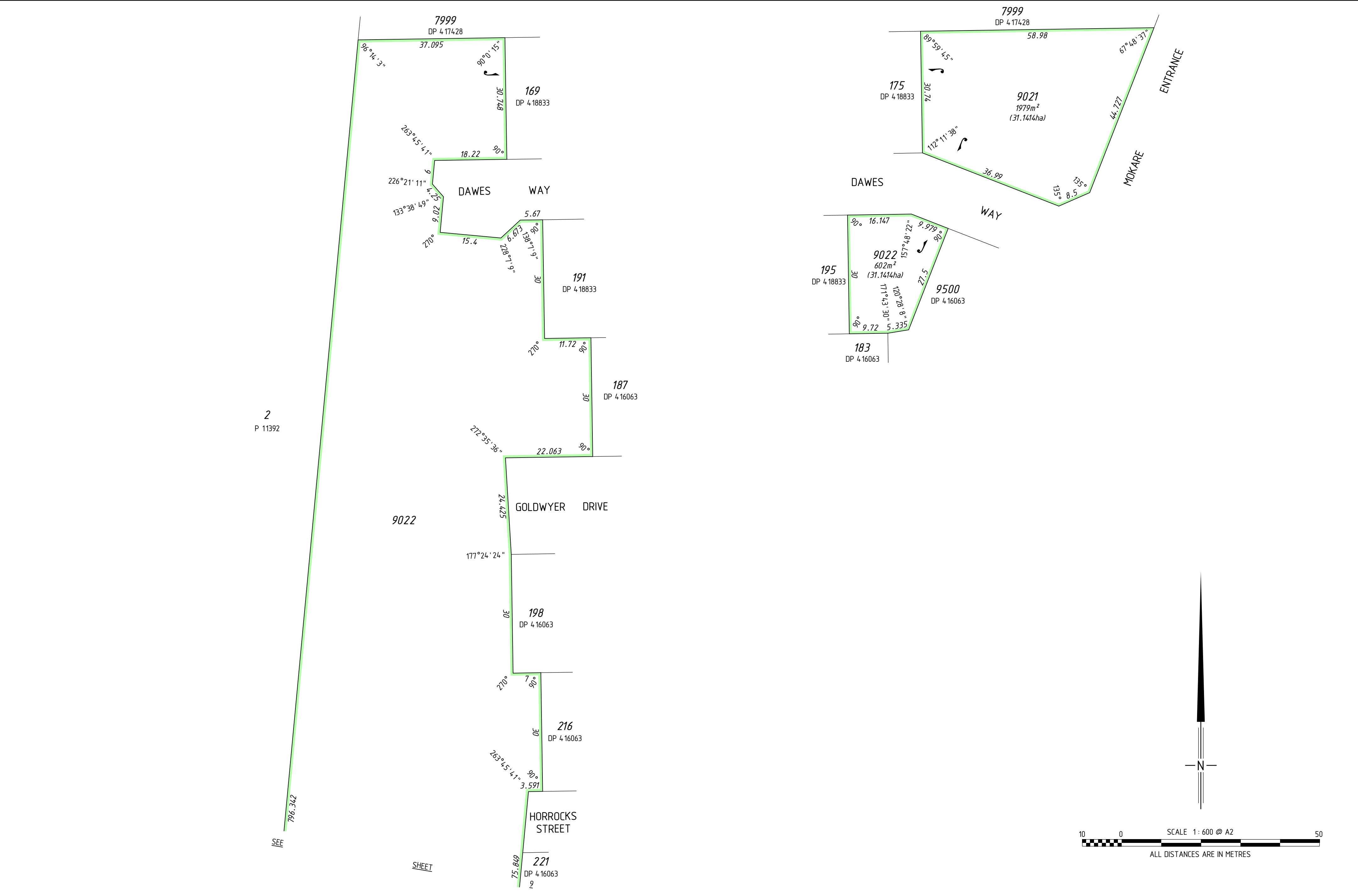
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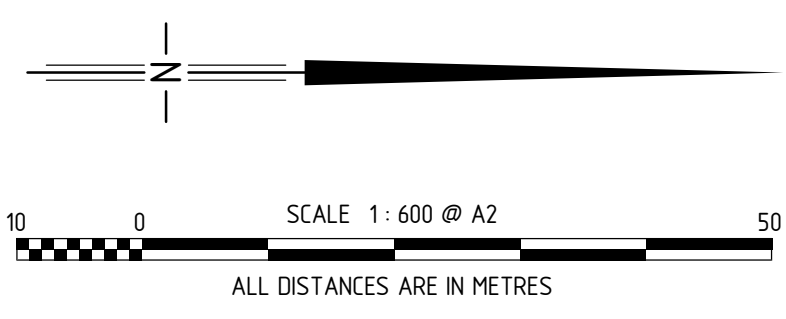
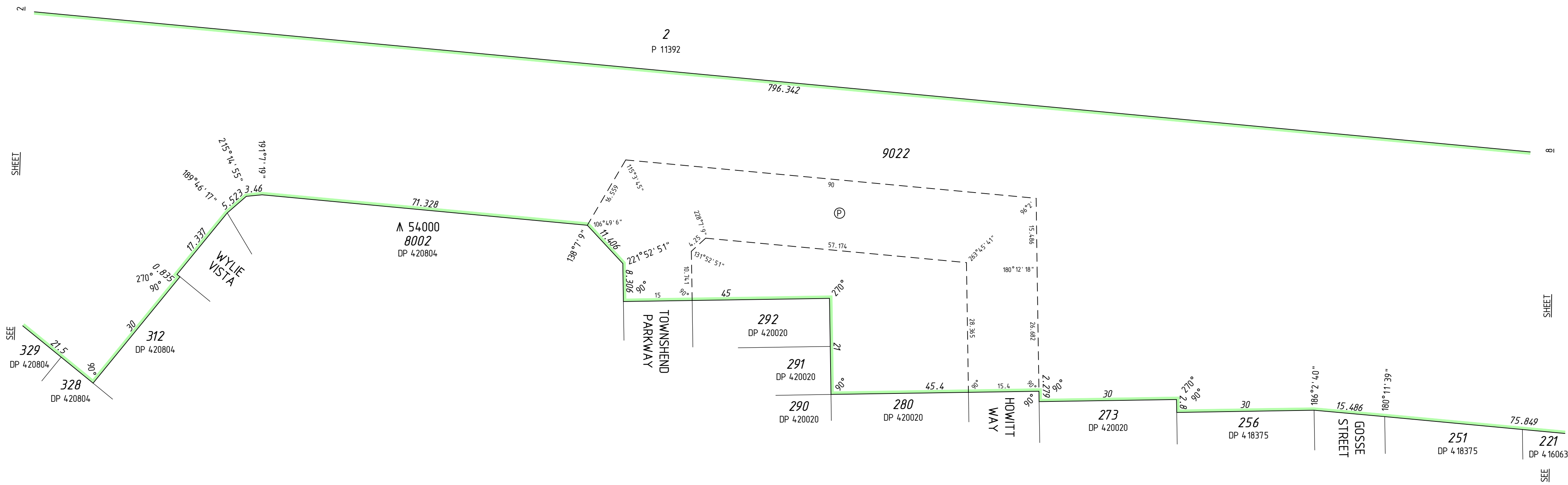
MC MULLEN NOIAN GROUP PTY LTD
PO Box 124, Bull Creek W.A. 6149
Tel: (08) 6436 1599
Email: info@mngsurvey.com.au

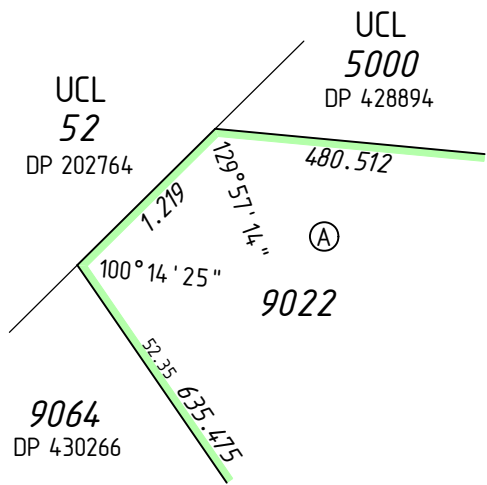
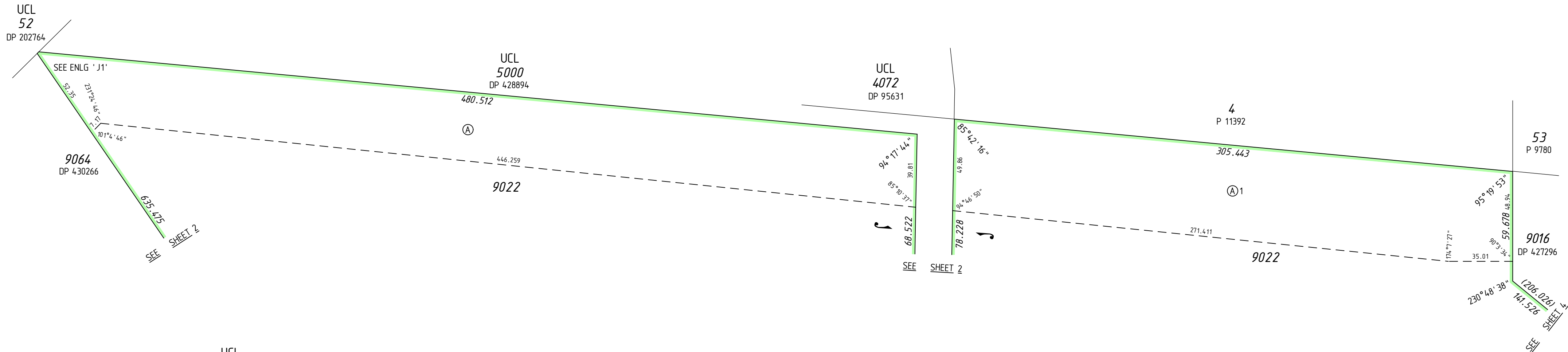
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SURVEY SHEET

SHEET	SHEETS	VERSION NUMBER
7	OF 11	1

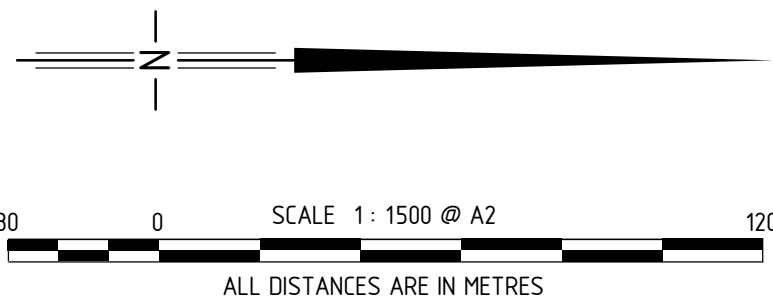
DEPOSITED PLAN
431479







ENLARGEMENT 'J1'
Not to scale



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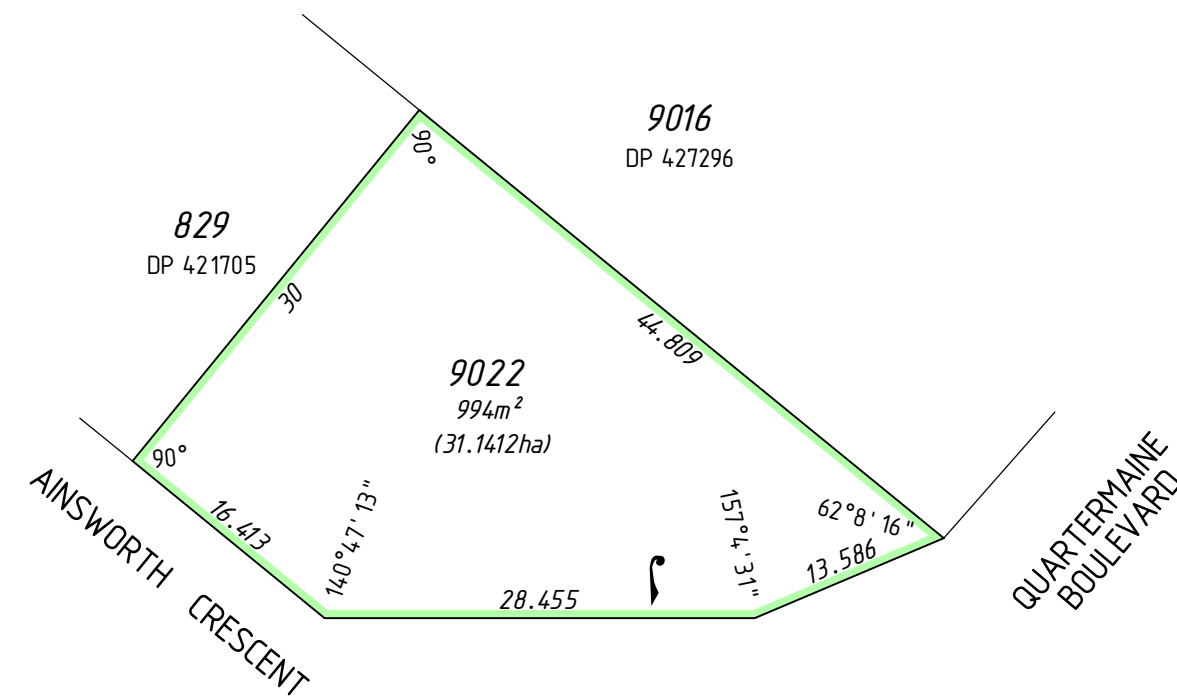
MC MULLEN NOIAN GROUP
PO Box 124, Bullcreek W.A. 6149
Tel: (08) 6436 1599
Email: info@mngsurvey.com.au

ADDITIONAL SHEETS
SURVEY SHEET

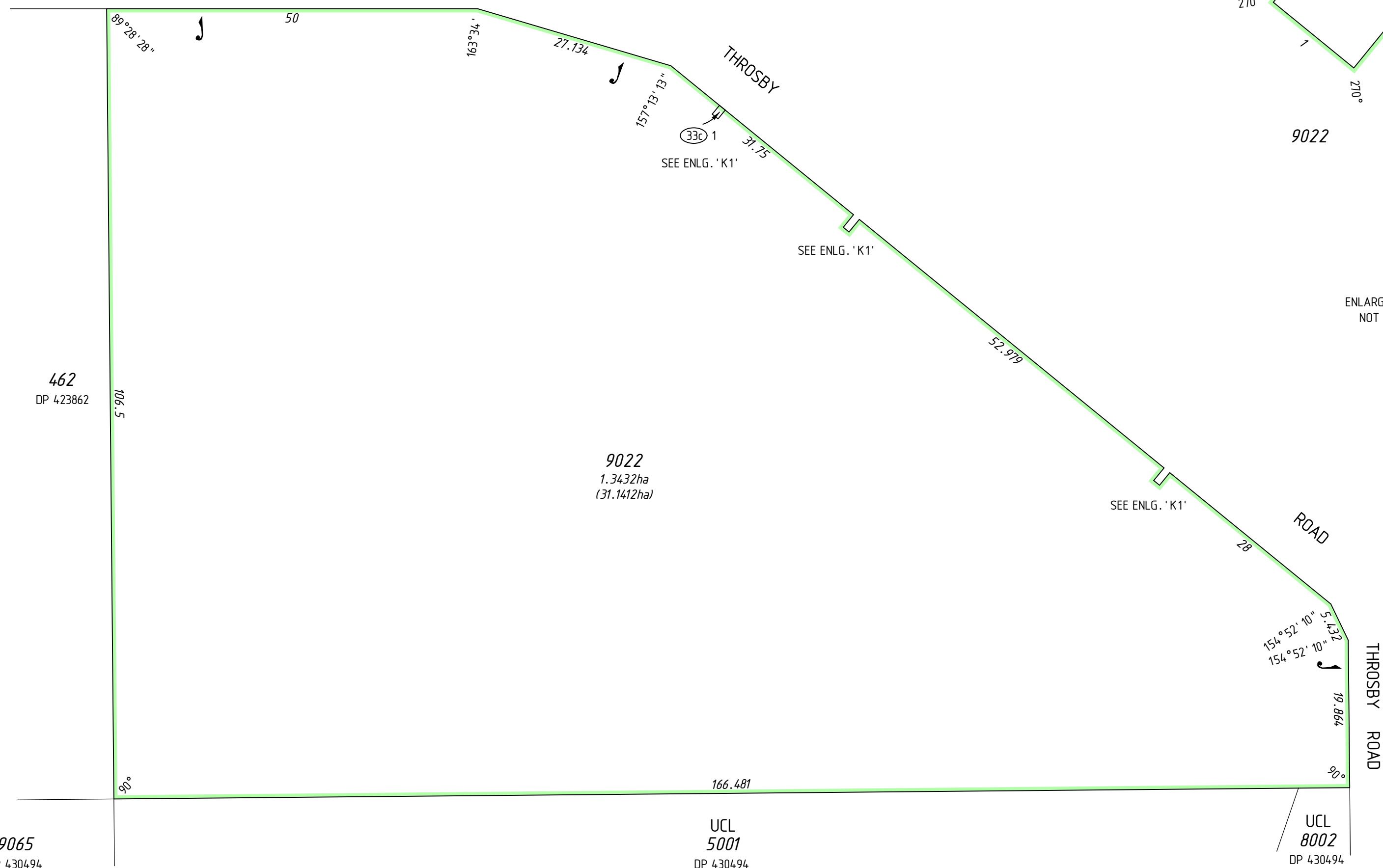
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10 OF 11

SHEETS
VERSION NUMBER
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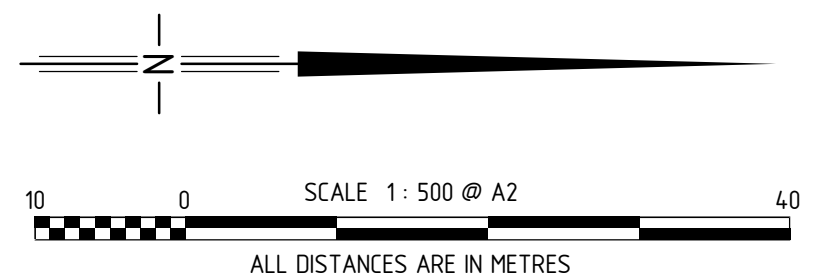
DEPOSITED PLAN
431479



QUARTERMAINE BOULEVARD



ENLARGEMENT 'K1'
NOT TO SCALE



ADDITIONAL SHEETS
SURVEY SHEET

SHEET
11 OF 11

VERSION NUMBER
1

DEPOSITED PLAN
431479

THIS SURVEY SHEET WILL BE
REPLACED BY THE SURVEY DATA



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Email: info@mngsurvey.com.au

MNG Ref : 96755dp-272c

VERSION NUMBER

1

DEPOSITED PLAN

431479

Appendix E:

City of Kwinana Fire Break Notice



FIRST AND FINAL NOTICE FIRE HAZARD COMPLIANCE NOTICE 2025/2026

Important The works outlined below **must** be completed by 1 December 2025 and maintained up to and including 31 May 2026, unless otherwise stated in this notice.

COMPLIANCE DUE BY

1 December 2025

INSPECTIONS COMMENCE FROM

1 December 2025

Notice to all landowners within the City of Kwinana

This Firebreak/Hazard Compliance Notice is issued by the City of Kwinana pursuant to *Section 33 of the Bush Fires Act 1954* to assist with the prevention, control and extinguishment of bush fires or to prevent the spread or extension of a bush fire to any adjoining land.

All property owners and/or occupiers of land within the City of Kwinana are hereby served with a first and final Firebreak/ Hazard Compliance Notice (the Notice) and are required to comply with the requirements in full.

Failure or neglect to comply with this notice is an offence and may result in a penalty of up to \$5,000.

The table below outlines the requirements of landowners and/or occupiers in the City of Kwinana. Please refer to the column that best describes your land size to view your legal responsibilities.

Compliance Requirements	Less than 1,500m ² (0.15ha)	1,501m ² (0.15ha) up to 3,500m ² (0.35ha)	3,501m ² (0.35ha) or greater
Firebreaks Install and maintain mineral earth fire breaks as per the specifications defined overleaf			✓
Asset Protection Zone Maintain a reduced fuel zone around all habitable buildings as per the specifications overleaf. Excluding properties with a BMP. Properties with a BMP, please see overleaf.			✓
Defendable Space Within three (3) metres of all walls or supporting posts of a habitable building, the area is kept free from flammable vegetation including overhanging branches within three (3) metres of any habitable building.		✓	
Flammable Ground Fuel - Reduce and/or maintain all Dead Flammable Material (DFM) on the ground across the entire property to a "fuel load" of below eight (8) tonnes per hectare. See definition overleaf. - Ensure that all long grass and weeds are slashed, mowed or trimmed down to a height no greater than 50mm across your entire property. (Compliance required year-round)	✓	✓	
Driveways Ensure driveways and access ways to all buildings are maintained at a minimum of three (3) metres in width and a vertical clearance height of four (4) metres to allow emergency vehicle access.	✓	✓	✓
Flammable Material Gutters, roofs, and walls of all buildings to be free of flammable matter and maintained.	✓	✓	✓

Variations to Notice

If it is impractical for you to install a firebreak as specified in this Notice, you may apply to vary the location of your firebreak within your property by completing and submitting an 'Application to Vary Location and Type of Firebreaks' form available on the City's [Fire Permits and Burn Offs page](#).

Submit completed forms to customer@kwinana.wa.gov.au marked for the attention of the Chief Bush Fire Control Officer – no later than 31 October 2025.

Additional Works

Regardless of land size, zoning and location, the City or its Bush Fire Control Officers may require additional work to be undertaken on a property to improve access, and/or undertake further works to reduce a hazard that may be conducive to preventing an outbreak and/or the spread or extension of a bush fire.

Asset Protection Zone

An Asset Protection Zone (APZ) is a zone of reduced fuel load around all habitable buildings. Your property's APZ is either established through:

- a site-specific Bushfire Management Plan (post 2015 developments or building amendments); or
- Pre-2015 constructed properties that are not subject to a Bushfire Management Plan.

Properties without a Bushfire Management Plan, must comply with the following:

- ✓ Fuel load within the 10m inner zone is reduced and maintained to no more than 2 tonne per hectare. Fuel load within the 10–20m outer zone is reduced and maintained to below 8 tonne per hectare.
- ✓ Trees over 5m in height within the 20m zone to be under pruned up to 2m.
- ✓ Small trees or shrubs within 3m of the asset shall be pruned to a maximum height of 2m and/or pruned to ensure a 2m wide vertical clearance from the asset.

Bushfire Management Plan

Properties that are subject to a Bushfire Management Plan (BMP) as a result of a subdivision, development application or an approved treatment plan, must comply with the ongoing requirements of such plans in their entirety. Bushfire Management Plans take precedent over the requirements in this notice.

Environmental and Heritage Conditions

Any property subject to environmental and heritage value such as, but not limited to, Threatened Ecological Communities (TEC), Environmentally Sensitive Areas (ESA), Bush Forever sites, Declared Rare Flora, and Fauna (DRF) sites and Aboriginal Heritage sites, etc should seek further information about what can or cannot be carried out prior to complying with the requirements under this Notice.

Engagement of contractors by owner and/or occupier to carry out works

Any owner and/or occupier who engages a contractor to undertake works on their behalf is responsible for ensuring that such works when completed meet the requirements of this Notice.



For further information, please contact the City of Kwinana, view the included brochure or the City of Kwinana website kwinana.wa.gov.au/fires

Firebreak/fire hazard compliance inspections

To promote community safety and education, official property inspections will be carried out by the City's Bush Fire Control Officers to identify non-compliant properties from 1 December 2025.

No burning in areas defined as Urban

Pursuant to section, 24G (2) of the *Bush Fires Act 1954*, no burning of garden refuse is to be undertaken in areas defined as "Urban" without written approval by the City of Kwinana.

Firebreak:

A strip of mineral earth land free of all flammable material with the intention of minimising the spread or extension of a bushfire and provide safe access on the property for emergency vehicles and other firefighting operations.

- ✓ Clearance must be 3 metres wide and 4 metres in height as close as practically possible, inside and along all boundaries of the perimeter of the land.
- ✓ Living green lawn is acceptable in lieu of mineral earth firebreaks, provided that the same width and height requirements for a firebreak are maintained.
- ✓ Must have a corner turning radius of up to 10 metres.
- ✓ Must be a continuous trafficable surface for a 4WD vehicle and be clear of any obstructions and must not terminate in a dead end.

Fuel Load

Can be live and dead vegetation that accumulates over time. This Notice refers only to dead vegetation.

- ✓ A fuel load depth of 15mm (fine fuels) to the mineral earth is indicative of approximately 8 tonne per hectare. The more fuel load, the higher the flame height and increased fire intensity.
- ✓ Mulch piles, stored firewood and burn piles can contribute to fuel loading on land and must be stored safely away from assets, removed from the property, or actioned as directed by a Fire Control Officer.
- ✓ Fine fuels include Leaf litter, grasses, twigs (up to 6mm diameter), bark etc.

Flammable Material

Any bush, plant, tree, grass, vegetation, object, or material that may or is likely to catch fire and burn.

Wayne Jack,
Chief Executive Officer

If you do not meet your fire prevention responsibilities as a property owner, you could be liable for a **maximum penalty of \$5,000** plus costs. The City may also access a property and undertake the required work at the expense of the owner.

Administration

Cnr Gilmore Ave & Sulphur Rd, Kwinana WA 6167 | PO Box 21, Kwinana WA 6966
Hours Mon–Fri 8:30am–4:30pm | Telephone Mon–Fri 8:00am–5:00pm 08 9439 0200
customer@kwinana.wa.gov.au | www.kwinana.wa.gov.au

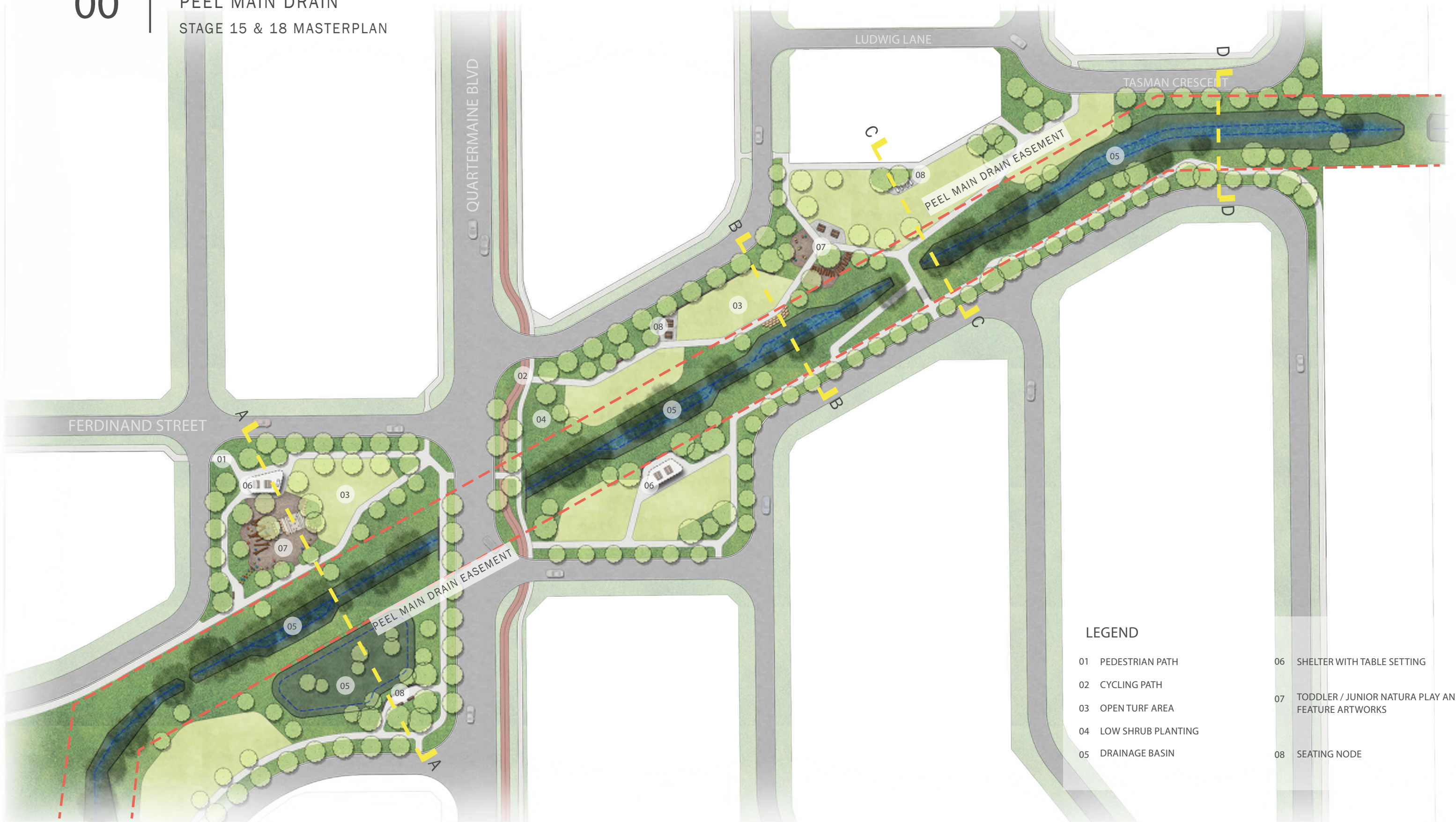
Appendix F:

Peel Main Drain POS Landscaping Plans



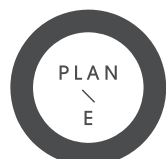
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PEEL MAIN DRAIN STAGE 15 & 18 MASTERPLAN



LEGEND

- | | |
|-----------------------|---|
| 01 PEDESTRIAN PATH | 06 SHELTER WITH TABLE SETTING |
| 02 CYCLING PATH | 07 TODDLER / JUNIOR NATURA PLAY AND
FEATURE ARTWORKS |
| 03 OPEN TURF AREA | 08 SEATING NODE |
| 04 LOW SHRUB PLANTING | |
| 05 DRAINAGE BASIN | |



LANDSCAPE ARCHITECTS

LEVEL 1 278 RAILWAY PDE WEST LEEDERVILLE WA 6007
T: (08) 9388 9566 E: mail@plane.com.au

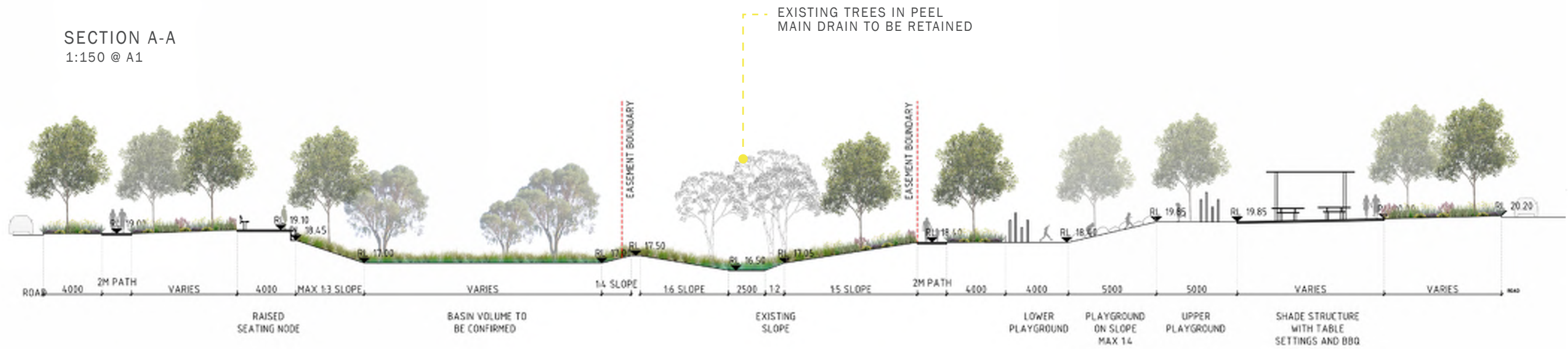
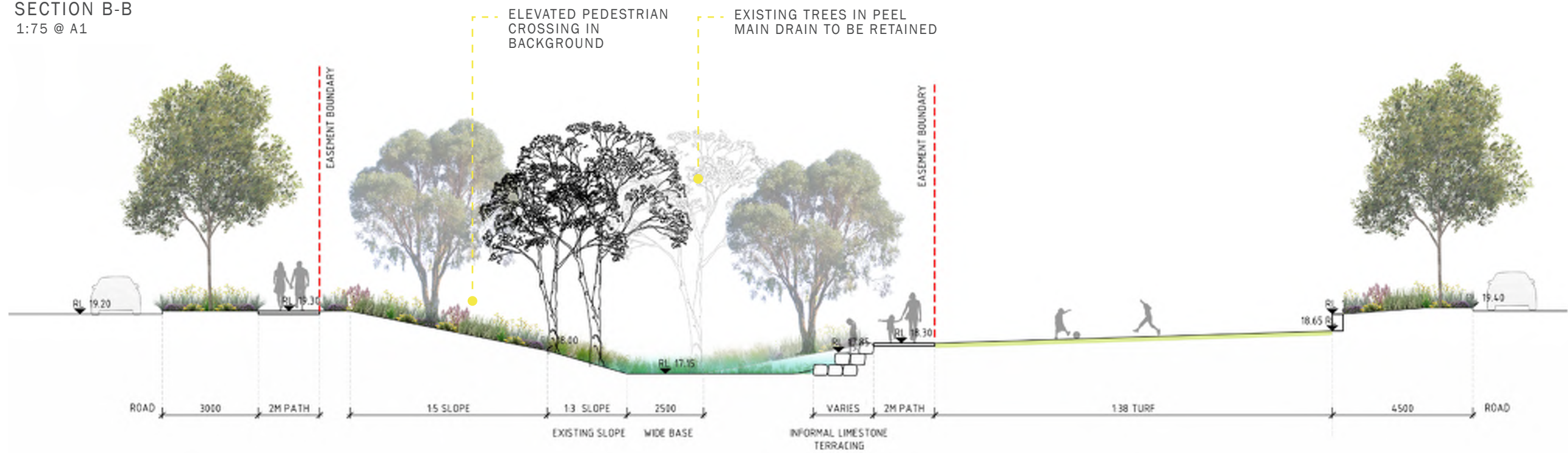
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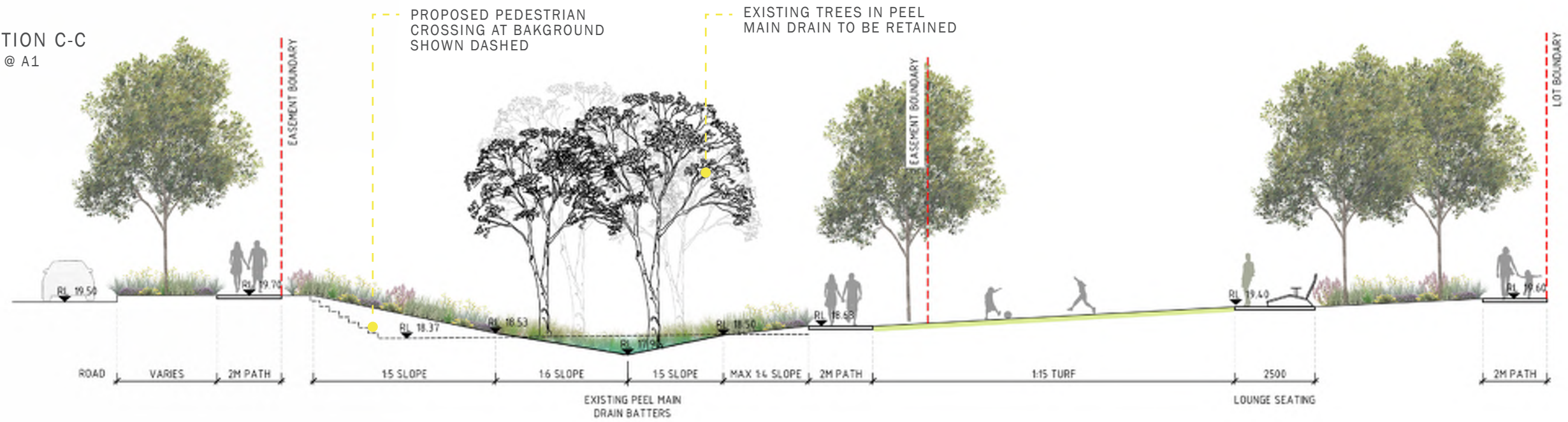
PREPARED FOR QUBE PROPERTY GROUP
FEBRUARY 2024

C1.101

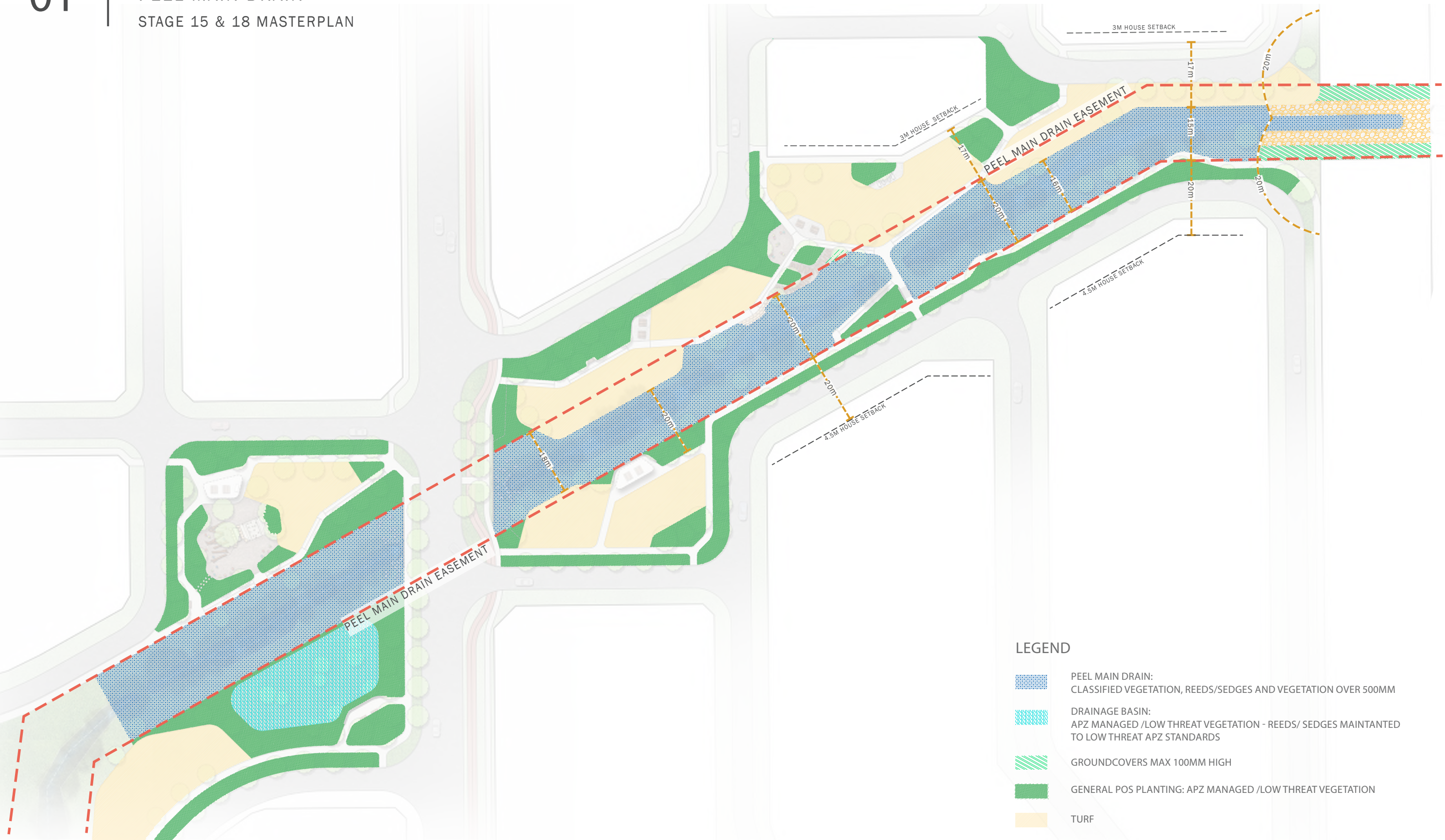
REV C
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SECTION A-A
1:150 @ A1SECTION B-B
1:75 @ A1

SECTION C-C
1:75 @ A1SECTION D-D
1:75 @ A1





Appendix G:

Western Power Easement POS

Landscaping Plans





LEGEND - SOFT WORKS

- G1
- GARDEN BED (TYPE 1):
FULLY IRRIGATED 140MM POT PLANTING
MULCH: 75MM ENVIROMULCH
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
- G2
- GARDEN BED (TYPE 2):
IRRIGATED (ESTABLISHMENT) TUBESTOCK PLANTING
MULCH: 75MM ENVIROMULCH OR SITE SOURCED
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
- G3
- GARDEN BED SWALE (TYPE 3):
IRRIGATED (ESTABLISHMENT) TUBESTOCK PLANTING
MULCH: NONE
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
- G4
- GARDEN BED (TYPE 3):
NON IRRIGATED SEED PLANTING
MULCH: SITE SOURCED (TBC)
SOIL CONDITIONER: (TBC) 15MM C-WISE 'HORTICULTURE'
- T1
- TURF GRASSING
SPECIES: KIKUYU 'VILLAGE GREEN'
IRRIGATED
IMPORTED SAND: 100MM TURF SAND
- M1
- MULCH ONLY (TYPE 1):
TYPE: SITE SOURCED OR TBC
DEPTH: 75MM.
-
- EXISTING VEGETATION TO BE
RETAINED AND PROTECTED
-
- BANKSIA MENZIESII
POT SIZE: 90L
MATURE HEIGHT: 7M
MATURE SPREAD 3M
-
- BANKSIA ATTENUATA
POT SIZE: 90L
MATURE HEIGHT: 10M
MATURE SPREAD 3M
-
- MELALEUCA VIRIDIFLORA
POT SIZE: 200L
MATURE HEIGHT: 7M
MATURE SPREAD 4M
-
- LARGE SHRUBS
POT SIZE: 200MM
MATURE HEIGHT: 5M MAX
MATURE SPREAD 5M MAX
-
- XANTHORRHOEA PREISSII
POT SIZE: TUBESTOCK
MATURE HEIGHT: 3M MAX
MATURE SPREAD 2M MAX

NOTE:
STREET TREES ARE TO BE LOCATED AT A MIN
CLEARANCE OF 7.5m FROM STREET LIGHTS & 15m FROM
SIDE ENTRY DRAINAGE PITS & SERVICE PITS AS PER
COUNCIL/SHIRE REQUIREMENTS. IMPORTED SOIL
TO ALL TREES INSTALLED BY CONTRACTOR.
LANDSCAPE CONTRACTOR IS TO PEG ALL TREE
LOCATIONS TO THE SUPERINTENDENT'S APPROVAL
PRIOR TO INSTALLATION.
PLANTS USED IN MIXED PLANTING ARE TO BE
SPACED AS SHOWN & PLACED WHERE NO MORE
THAN THREE (3) PLANTS OF THE SAME SPECIES
ARE ADJACENT TO EACH OTHER. ALL PLANT CENTRES
ADJACENT ALL KERBS, PAVEMENTS, WALLS AND
SPRINKLERS TO BE OFFSET 500mm OR, HALF
THE DIAMETER OF THE MATURE PLANT,
WHICHEVER IS THE GREATER.

LEGEND EASEMENT

-
- APZ (27m)
ASSET PROTECTION ZONE
-
- HIGH VOLTAGE OVERHEAD WESTERN POWER LINES
-
- OPTUS OPTIC FIBRE CABLE

PLAN
\\
E

APSLEY ESTATE - WESTERN POWER EASEMENT P2.2
PREPARED FOR QUBE MANDOGALUP DEVELOPMENT PTY LTD

LANDSCAPE CONSTRUCTION
SOFT WORKS DRAWING

FILE LOCATION: L:\PROJECTS\2014 PROJECTS\14033 MANDOGALUP DEVELOPMENT\1403318 WESTERN POWER EASEMENT P2.2\PROJECT\P5 DRAWINGS\CONDOCS\ACAD\1403318 LC - DD.DWG

JOB NO. 1403318
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L5.101 REV A 11.06.2024

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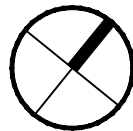
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10

15

25m

PLOTTED BY: KBOHORQUEZ



LANDSCAPE ARCHITECTS
L1, 278 RAILWAY PDE, WEST LEEDERVILLE, WA 6007
T: (08) 9388 9566 E: mail@plane.com.au
LANDSPACE PTY LTD ACN 056 538 679

PLOT DATE: 11/06/2024 9:30:31 AM



CERTIFICATION:				BY	
This drawing shall not be used for construction purposes unless Revised 0 Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or ordering materials. Refer any discrepancy to Landscape Architect before proceeding with the works.				AP	
DO NOT SCALE FROM THE DRAWING				KB JO	
DATE	REV	DESCRIPTION			
11.06.24	A	ISSUED FOR COORDINATION			

LEGEND - SOFT WORKS

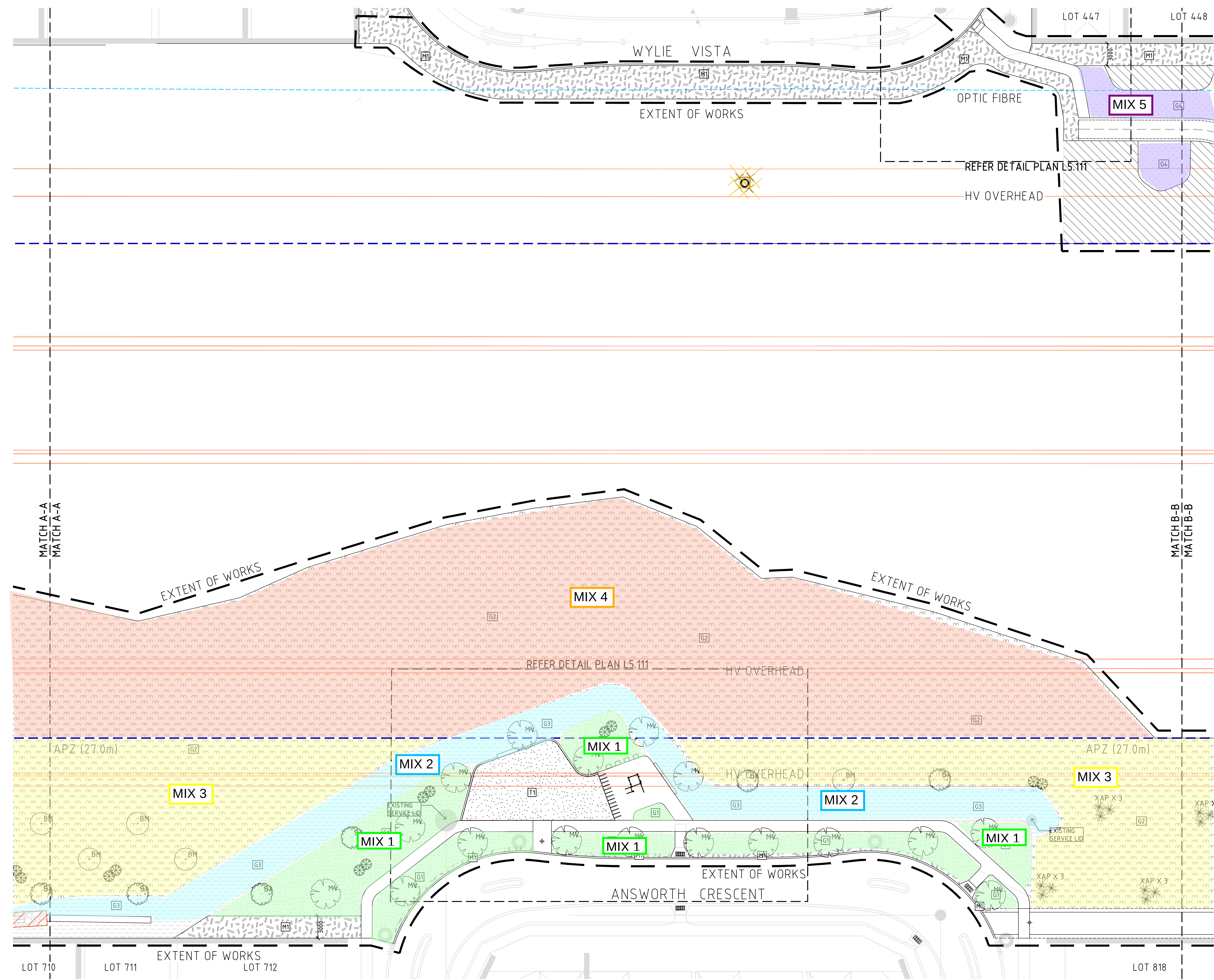
-  GARDEN BED (TYPE 1):
FULLY IRRIGATED 140MM POT PLANTING
MULCH: 75MM ENVIROMULCH
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
-  GARDEN BED (TYPE 2):
IRRIGATED (ESTABLISHMENT) TUBESTOCK PLANTING
MULCH: 75MM ENVIROMULCH OR SITE SOURCED
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
-  GARDEN BED SWALE (TYPE 3):
IRRIGATED (ESTABLISHMENT) TUBESTOCK PLANTING
MULCH: NONE
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
-  GARDEN BED (TYPE 3):
NON IRRIGATED SEED PLANTING
MULCH: SITE SOURCED (TBC)
SOIL CONDITIONER: (TBC) 15MM C-WISE 'HORTICULTURE'
-  TURF GRASSING
SPECIES: KIKUYU 'VILLAGE GREEN'
IRRIGATED
IMPORTED SAND: 100MM TURF SAND
-  MULCH ONLY (TYPE 1):
TYPE: SITE SOURCED OR TBC
DEPTH: 75MM.
-  EXISTING VEGETATION TO BE
RETAINED AND PROTECTED
-  BANKSIA MENZIESII
POT SIZE: 90L
MATURE HEIGHT: 7M
MATURE SPREAD 3M
-  BANKSIA ATTENUATA
POT SIZE: 90L
MATURE HEIGHT: 10M
MATURE SPREAD 3M
-  MELALEUCA VIRIDIFLORA
POT SIZE: 200L
MATURE HEIGHT: 7M
MATURE SPREAD 4M
-  LARGE SHRUBS
POT SIZE: 200MM
MATURE HEIGHT: 5M MAX
MATURE SPREAD 5M MAX
-  XANTHORRHOEA PREISSII
POT SIZE: TUBESTOCK
MATURE HEIGHT: 3M MAX
MATURE SPREAD 2M MAX

NOTE:
STREET TREES ARE TO BE LOCATED AT A MIN CLEARANCE OF 7.5m FROM STREET LIGHTS & 15m FROM SIDE ENTRY DRAINAGE PITS & SERVICE PITS AS PER COUNCIL/SHIRE REQUIREMENTS. IMPORTED SOIL TO ALL TREES INSTALLED BY CONTRACTOR. LANDSCAPE CONTRACTOR IS TO PEG ALL TREE LOCATIONS TO THE SUPERINTENDENT'S APPROVAL PRIOR TO INSTALLATION.
PLANTS USED IN MIXED PLANTING ARE TO BE SPACED AS SHOWN & PLACED WHERE NO MORE THAN THREE (3) PLANTS OF THE SAME SPECIES ARE ADJACENT TO EACH OTHER. ALL PLANT CENTRES ADJACENT ALL KERBS, PAVEMENTS, WALLS AND SPRINKLERS TO BE OFFSET 500mm OR, HALF THE DIAMETER OF THE MATURE PLANT, WHICHEVER IS THE GREATER.

LEGEND EASEMENT

-  APZ (27m)
ASSET PROTECTION ZONE
-  HIGH VOLTAGE OVERHEAD WESTERN POWER LINES
-  OPTUS OPTIC FIBRE CABLE

PLAN
/ E



APSLEY ESTATE - WESTERN POWER EASEMENT P2.2
PREPARED FOR QUBE MANDOGALUP DEVELOPMENT PTY LTD

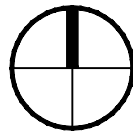
LANDSCAPE CONSTRUCTION
SOFT WORKS DRAWING

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JOB NO. 1403318
1:250 @ A1

L5.102 REV A 11.06.2024
0 5 10 15 25m

PLOTTED BY: KBOHORQUEZ



LANDSCAPE ARCHITECTS
L1, 278 RAILWAY PDE, WEST LEEDERVILLE, WA 6007
T: (08) 9388 9566 E: mail@plane.com.au
LANDSPACE PTY LTD ACN 056 538 679

PLOT DATE: 11/06/2024 9:36:24 AM



CERTIFICATION:
This drawing shall not be used for construction purposes unless Revised 0 issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or ordering materials. Refer any discrepancy to Landscape Architect before proceeding with the works.
DO NOT SCALE FROM THE DRAWING

DATE	REV	DESCRIPTION	BY	AP
11.06.24	A	ISSUED FOR COORDINATION	KB	JO

LEGEND - SOFT WORKS

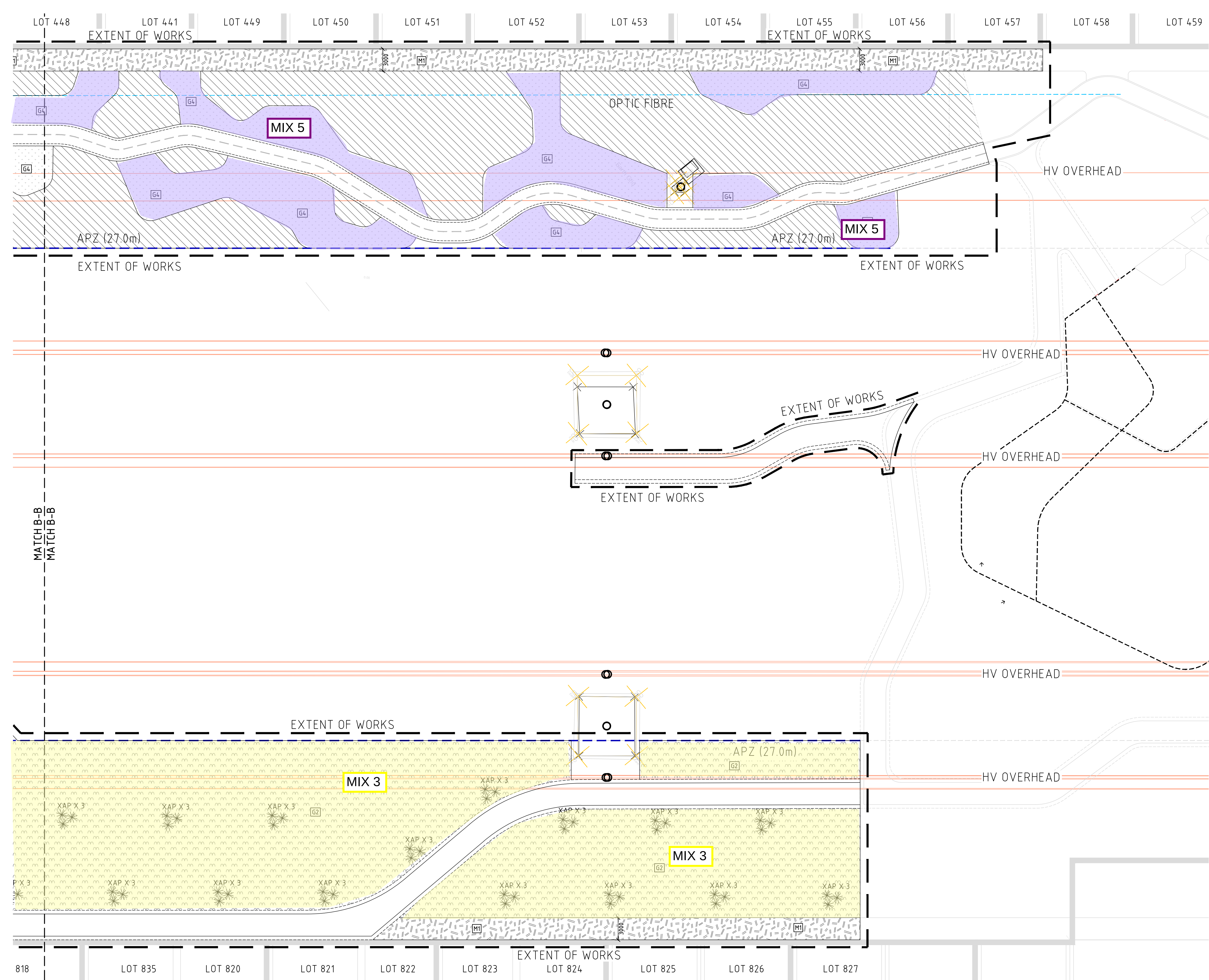
- G1** GARDEN BED (TYPE 1):
FULLY IRRIGATED 140MM POT PLANTING
MULCH: 75MM ENVIROMULCH
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
- G2** GARDEN BED (TYPE 2):
IRRIGATED (ESTABLISHMENT) TUBESTOCK PLANTING
MULCH: 75MM ENVIROMULCH OR SITE SOURCED
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
- G3** GARDEN BED SWALE (TYPE 3):
IRRIGATED (ESTABLISHMENT) TUBESTOCK PLANTING
MULCH: NONE
SOIL CONDITIONER: 15MM C-WISE 'HORTICULTURE'
- G4** GARDEN BED (TYPE 3):
NON IRRIGATED SEED PLANTING
MULCH: SITE SOURCED (TBC)
SOIL CONDITIONER: (TBC) 15MM C-WISE 'HORTICULTURE'
- T1** TURF GRASSING
SPECIES: KIKUYU 'VILLAGE GREEN'
IRRIGATED
IMPORTED SAND: 100MM TURF SAND
- M1** MULCH ONLY (TYPE 1):
TYPE: SITE SOURCED OR TBC
DEPTH: 75MM.
- EXISTING VEGETATION TO BE RETAINED AND PROTECTED**
- BM** BANKSIA MENZIESII
POT SIZE: 90L
MATURE HEIGHT: 7M
MATURE SPREAD 3M
- B** BANKSIA ATTENUATA
POT SIZE: 90L
MATURE HEIGHT: 10M
MATURE SPREAD 3M
- MW** MELALEUCA VIRIDIFLORA
POT SIZE: 200L
MATURE HEIGHT: 7M
MATURE SPREAD 4M
- L** LARGE SHRUBS
POT SIZE: 200MM
MATURE HEIGHT: 5M MAX
MATURE SPREAD 5M MAX
- XAP** XANTHORRHOEA PREISSII
POT SIZE: TUBESTOCK
MATURE HEIGHT: 3M MAX
MATURE SPREAD 2M MAX

NOTE:
STREET TREES ARE TO BE LOCATED AT A MIN CLEARANCE OF 7.5m FROM STREET LIGHTS & 1.5m FROM SIDE ENTRY DRAINAGE PITS & SERVICE PITS AS PER COUNCIL/SHIRE REQUIREMENTS. IMPORTED SOIL TO ALL TREES INSTALLED BY CONTRACTOR. LANDSCAPE CONTRACTOR IS TO PEG ALL TREE LOCATIONS TO THE SUPERINTENDENT'S APPROVAL PRIOR TO INSTALLATION. PLANTS USED IN MIXED PLANTING ARE TO BE SPACED AS SHOWN & PLACED WHERE NO MORE THAN THREE (3) PLANTS OF THE SAME SPECIES ARE ADJACENT TO EACH OTHER. ALL PLANT CENTRES ADJACENT ALL KERBS, PAVEMENTS, WALLS AND SPRINKLERS TO BE OFFSET 500mm OR, HALF THE DIAMETER OF THE MATURE PLANT, WHICHEVER IS THE GREATER.

LEGEND EASEMENT

- APZ (27m)**
ASSET PROTECTION ZONE
- HV OVERHEAD**
HIGH VOLTAGE OVERHEAD WESTERN POWER LINES
- OPTUS OPTIC FIBRE CABLE**

PLAN
/ E



APSLEY ESTATE - WESTERN POWER EASEMENT P2.2
PREPARED FOR QUBE MANDOGALUP DEVELOPMENT PTY LTD

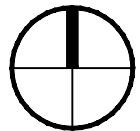
LANDSCAPE CONSTRUCTION
SOFT WORKS DRAWING

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JOB NO. 1403318
1:250 @ A1

L5.103
REV A
11.06.2024

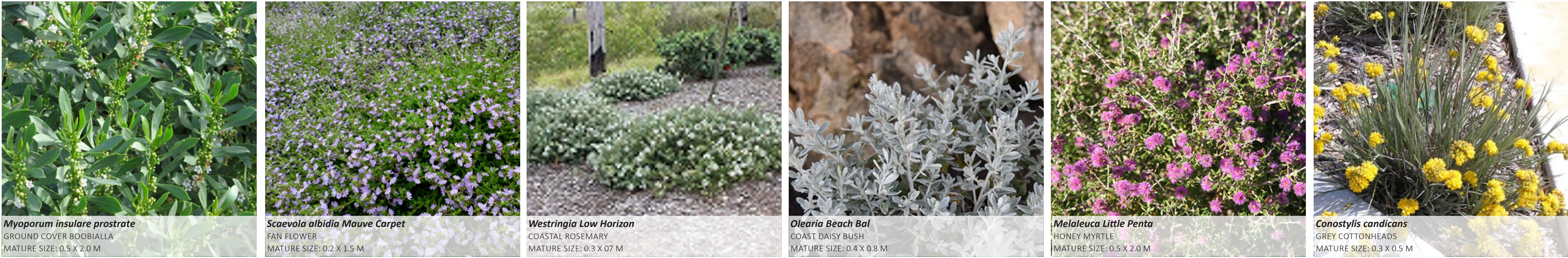
PLOTTED BY: KBOHORQUEZ



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LANDSPACE PTY LTD ACN 056 538 679

PLOT DATE: 11/06/2024 9:35:54 AM

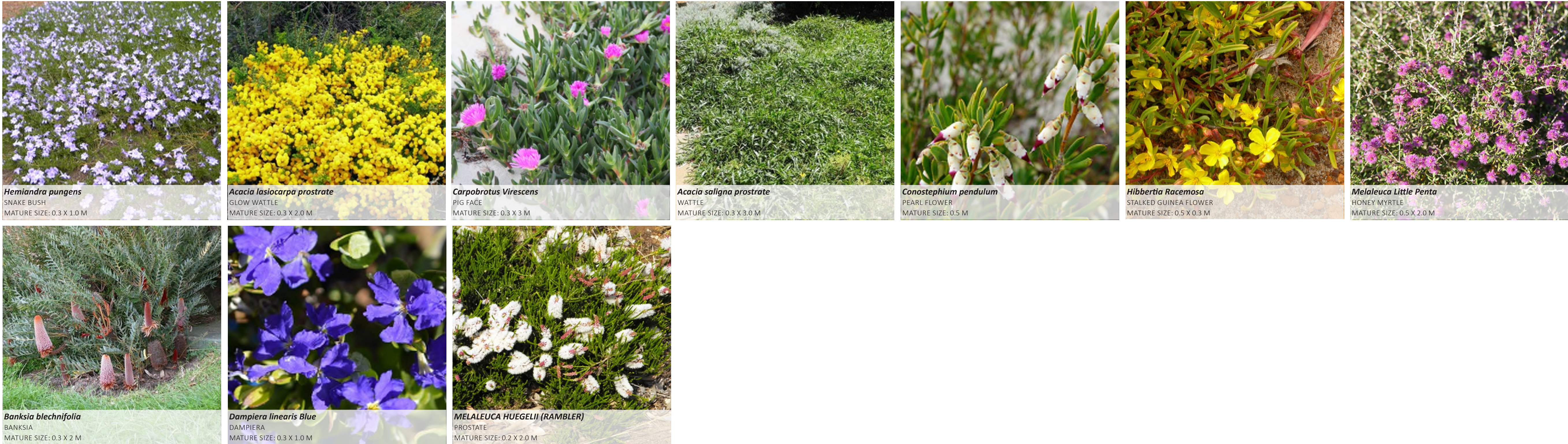
MIX 1 - IRRIGATED MAX 0.5M



MIX 2 - SWALE MAX 0.8M



MIX 3 - WPE TUBESTOCK MAX 0.5M - IRRIGATED (ESTABLISHMENT)



MIX 4 - WPE TUBESTOCK MAX 1.2M



MIX 5 - SEED PLANTING MAX 0.5M

